

\*Attached is the correspondence for those who did not receive the original email

[Quoted text hidden]

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 **Catalyst Space\_rmb.pdf**  
104K

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**Rebecca Brown** <rbrown@altonapa.gov>

Thu, Jan 13, 2022 at 2:55 PM

To: Justin Merrell <jmerrell@catalystspace.org>, Matt DePaolis <mattd@perrywellingtonrealty.com>

Cc: Scott Brown <sbrown@altonapa.gov>, Adam Free <afree@altonapa.gov>

Mr. Merrell,

Good afternoon. Just following up on my email from November regarding the kilns at Catalyst Space. Were you able to retain a design professional to provide a tenant layout? Please advise on the status of the space.

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**Catalyst Space** <jmerrell@catalystspace.org>

Tue, Jan 25, 2022 at 7:25 PM

To: Rebecca Brown <rbrown@altonapa.gov>

Cc: Matt DePaolis <mattd@perrywellingtonrealty.com>, Scott Brown <sbrown@altonapa.gov>, Adam Free <afree@altonapa.gov>, dbk@hwcassoc.com, Steve Drochek <sdrochek@yahoo.com>, Jason Garber <jgarber@appcove.com>

We decided not to engage with anyone on this issue. As a small non-profit, our funds are limited, and in discussions with the board, we decided that it was not prudent to use funds to solve a problem in a building about which we had an increasing number of questions as to its suitability and ultimate viability, especially given the multiple changes in ownership. We have resolved to look for a new facility that is more accessible and better suited to housing the activities we wish to support. As a result, we have scaled back our operations in the Gables Building to exclude those that were a problem. The members using the kiln have made other arrangements. While this has impacted our membership and ability to expand right now, we are hopeful that we will find a better solution in a facility more suited to our members soon.

If you have any questions, please feel free to contact me,

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 **Catalyst Space\_rmb.pdf**  
104K

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**Rebecca Brown** <rbrown@altonapa.gov>

Wed, Jan 26, 2022 at 8:58 AM

To: Catalyst Space <jmerrell@catalystspace.org>

Cc: Matt DePaolis <mattd@perrywellingtonrealty.com>, Scott Brown <sbrown@altonapa.gov>, Adam Free <afree@altonapa.gov>, dbk@hwcassoc.com, Steve Drochek <sdrochek@yahoo.com>, Jason Garber <jgarber@appcove.com>

Thank you for the information, and best of luck going forward with your search for a different facility. Please don't hesitate to reach out if you need any assistance or have questions.

Sincerely,

[Quoted text hidden]

[Quoted text hidden]

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**Rebecca Brown** <rbrown@altonapa.gov>

Wed, Jan 26, 2022 at 9:02 AM

To: Justin Smithmyer <jsmithmyer@altonapa.gov>, Tim Hileman <thileman@altonapa.gov>

fyi

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Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>

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## Gable's parking garage

5 messages

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**Matt Pacifico** <[mpacifico@altoonapa.gov](mailto:mpacifico@altoonapa.gov)>  
To: Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>

Tue, Apr 5, 2022 at 5:49 PM

Someone sent me these photos that were taken today. I reached out to Steve McKnight to see if he has direct contact information for the new ownership group. Could you have this looked at tomorrow please? It looks pretty bad and I'm worried about it structurally. Thank you.





*Matt Pacifico*  
Mayor, City of Altoona  
1301 Twelfth Street, Suite 200  
Altoona, PA 16601  
814.949.2476

---

**Rebecca Brown** <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>  
To: Matt Pacifico <[mpacifico@altoonapa.gov](mailto:mpacifico@altoonapa.gov)>

Tue, Apr 5, 2022 at 5:52 PM

Of course. I'll have Scott go down.

Sent from my iPhone

On Apr 5, 2022, at 5:49 PM, Matt Pacifico <[mpacifico@altoonapa.gov](mailto:mpacifico@altoonapa.gov)> wrote:

Someone sent me these photos that were taken today. I reached out to Steve McKnight to see if he has direct contact information for the new ownership group. Could you have this looked at tomorrow please? It looks pretty bad and I'm worried about it structurally. Thank you.

[Quoted text hidden]

**Matt Pacifico** <mpacifico@altonapa.gov>  
To: Rebecca Brown <rbrown@altonapa.gov>

Tue, Apr 5, 2022 at 9:56 PM

Thank you. Here's the contact information for the building owner:

*Amrit K Dhaliwal*

**DSD Investors LLC**  
8102 West Chester Pike  
Upper Darby, PA 19082

*amritquickstar@gmail.com*

**(p) 610 299 - 8910**

*Matt Pacifico*  
Mayor, City of Altoona  
1301 Twelfth Street, Suite 200  
Altoona, PA 16601  
814.949.2476

On Apr 5, 2022, at 5:52 PM, Rebecca Brown <rbrown@altonapa.gov> wrote:

Of course. I'll have Scott go down.

[Quoted text hidden]

**Rebecca Brown** <rbrown@altonapa.gov>  
To: Matt Pacifico <mpacifico@altonapa.gov>

Tue, Apr 5, 2022 at 10:02 PM

Thanks!

Sent from my iPhone

On Apr 5, 2022, at 9:56 PM, Matt Pacifico <mpacifico@altonapa.gov> wrote:

[Quoted text hidden]

**Rebecca Brown** <rbrown@altonapa.gov>  
To: Scott Brown <sbrown@altonapa.gov>

Wed, Apr 6, 2022 at 8:33 AM

Please see photos below of Gable's parking garage, which the Mayor sent to me last night. I let him know that you would go down to the garage this morning sometime to assess what's going on. I will get back to him after you let me know.

Thanks!  
Rebecca

**Rebecca M. Brown, BCO, Director**  
City of Altoona  
Department of Codes and Inspections  
1301 12th Street, Suite 103  
Altoona PA 16601  
Phone (814) 949-2455

7/26/23, 9:14 AM

City of Altoona, PA Mail - Gable's parking garage

Fax (814) 949-2203  
rbrown@altoonapa.gov  
www.altoonapa.gov

[Quoted text hidden]



Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>

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## Parking Garage - 1301 -11 12th Avenue

1 message

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Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>

Thu, Apr 7, 2022 at 3:06 PM

To: Omar Strohm <[ostrohm@altoonapa.gov](mailto:ostrohm@altoonapa.gov)>, Matt Pacifico <[mayor@altoonapa.gov](mailto:mayor@altoonapa.gov)>, Joe Merrill <[jmerrill@altoonapa.gov](mailto:jmerrill@altoonapa.gov)>, Tim Hileman <[thileman@altoonapa.gov](mailto:thileman@altoonapa.gov)>, Nathan Kissell <[nkissell@altoonapa.gov](mailto:nkissell@altoonapa.gov)>

Please find attached correspondence sent to the owner of the Gable's Building parking garage.

Thanks,  
Rebecca

**Rebecca M. Brown, Director**  
City of Altoona  
Department of Codes and Inspections  
1301 12th Street, Suite 103  
Altoona PA 16601  
Phone (814) 949-2455  
Fax (814) 949-2203  
[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)  
[www.altoonapa.gov](http://www.altoonapa.gov)



**Parking Garage 1301-11 12th Ave.pdf**  
2249K

1301 12<sup>th</sup> Street Suite 103  
Altoona PA 16601  
(814) 949-2456 phone  
(814) 949-2203 fax  
[inspections@altoonapa.gov](mailto:inspections@altoonapa.gov)

# CITY OF ALTOONA



## DEPARTMENT OF CODES AND INSPECTIONS

Rebecca M. Brown  
Director

Code Enforcement  
Inspections  
Land Development  
Zoning  
GIS

April 7, 2022

SENT VIA ELECTRONIC AND U.S. MAIL

Amrit K Dhaliwal  
DSD Investors LLC  
8102 West Chester Pike  
Upper Darby, PA 19082  
[amritquikstar@gmail.com](mailto:amritquikstar@gmail.com)

Matt DePaolis  
Perry Wellington Realty  
1103 N. Juniata St.  
Hollidaysburg PA 16648  
[MattD@perrywellingtonrealty.com](mailto:MattD@perrywellingtonrealty.com)

### **RE: Parking Garage, 1301-11 12<sup>th</sup> Avenue, Altoona PA 16601**

Dear Ms. Dhaliwal:

On April 6, 2022 at 11:30 a.m., the City of Altoona Building Inspector conducted an inspection of the parking garage located at 1301-11 12<sup>th</sup> Avenue in response to a complaint received. Please be advised of the following relative to this inspection.

#### **Structure Statistics:**

A 5-story open deck parking garage occupancy group S2, type 1B construction.

The building structural orientation is front on 12<sup>th</sup> Avenue, rear to alley.

The structure has two stories below grade, one access from alley, one access from 13<sup>th</sup> street hill, and the third (main first floor level) access from the front at 12<sup>th</sup> street. The next two levels are accessed by internal ramp from 12<sup>th</sup> street front entrance.

Structure is supported by exposed steel I-beams which are arranged in rows from building side to side. These support concrete structural main beams which support the structure, and these run from front of building to rear. These are not pre-stressed concrete beams.

The structural concrete beams in turn support precast concrete structural parking deck panels that have integral lateral structural beams cast into unit.

#### **Structure Observations:**

The structural concrete main beams which support the structure deck panels have numerous cracks with salt/calcium deposits penetrating the structure deck, concrete structural parking deck panels, and ultimately attacking/deteriorating these concrete structural main beams. The salt/calcium deposits have followed these cracks and illustrate the crack locations in these beams. In places they look like stalactites. These cracks run both horizontally in places as well as vertically through the beam section in a large portion of these beams. This salt/calcium has also attacked and deteriorated the internal steel reinforcing rods of many beams, as it is exposed and observable.



There is a significant amount of material spalled off of the concrete structural parking deck panels' integral lateral structural beams which is missing, and there is a significant amount of the integral internal steel reinforcing bars exposed. These precast concrete structural parking deck panels have structural transverse beams cast integrally with them. These have lost significant portions of their structural mass which has spalled off over time. Much of the reinforcing steel is exposed and heavily degraded. There appears to have been a past attempt to repair these issues by spraying shotcrete over the damaged structural concrete elements. This repair would do nothing to remedy the structural issues caused by the stated deterioration of the parking garage.

There is heavy wooden cribbing placed at the bottom of the second-floor parking deck ramp which leads to the third level parking; apparently this was placed to shore the ramp from deterioration.

There is heavy netting fastened to the first-floor ceiling/decking above, apparently to keep spalling fragments from striking vehicles or members of the public.

There is evidence of spalled material in many areas, some present at the time this inspection.

There is a patched hole at the bottom of the second to third floor deck ramp, and it appears to be supported by wood below. It has cracked and appears to be moving.

Photographs are enclosed that show some observations of the inspection. These photos are not a complete representation of all of the repairs required to the structure.

**Conclusion and Order:**

This structure is heavily deteriorated and has not been properly maintained and repaired. It is very conceivable that a structural failure may occur given its condition, especially if the structure is heavily loaded with vehicles and/or if the vehicles move/leave the garage at the same time.

**Therefore, in accordance with PA Uniform Construction Code, § 403.84. "Unsafe building, structure or equipment", this building is hereby ordered "VACATED".** The building shall remain out of service pending the receipt of a structural analysis conducted by a structural engineer. This report shall contain recommendations for continued use or disuse of the structure, along with a tabulation of repairs and the procedures to be followed to execute these repairs. We are requesting the report be provided to this department within fifteen (15) days from the date of this order.

We sincerely appreciate your cooperation in this matter and look forward to working with you to ensure the safety of this structure.

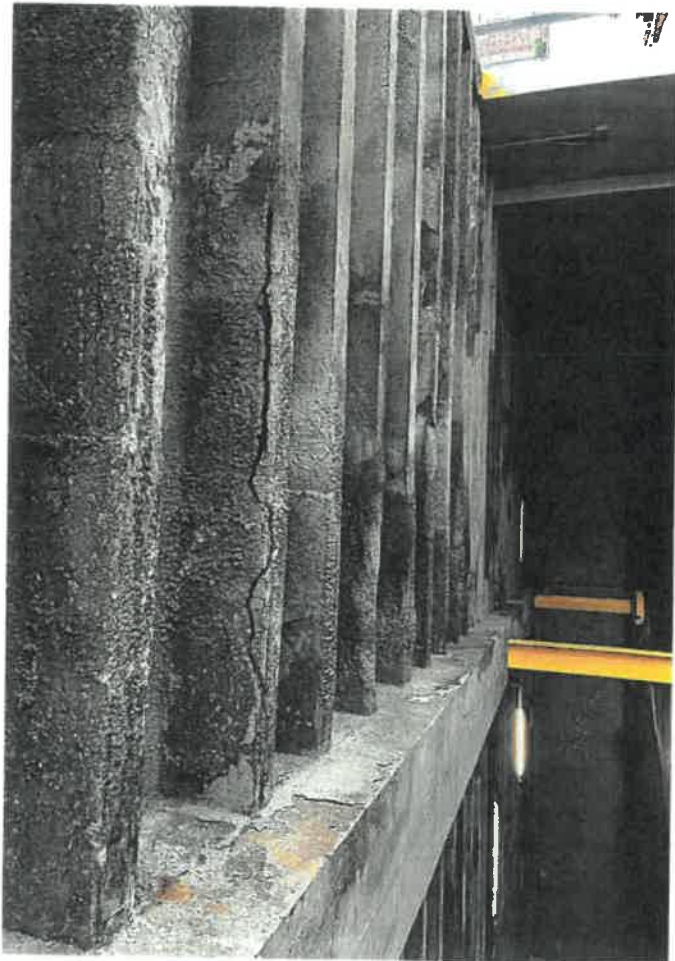
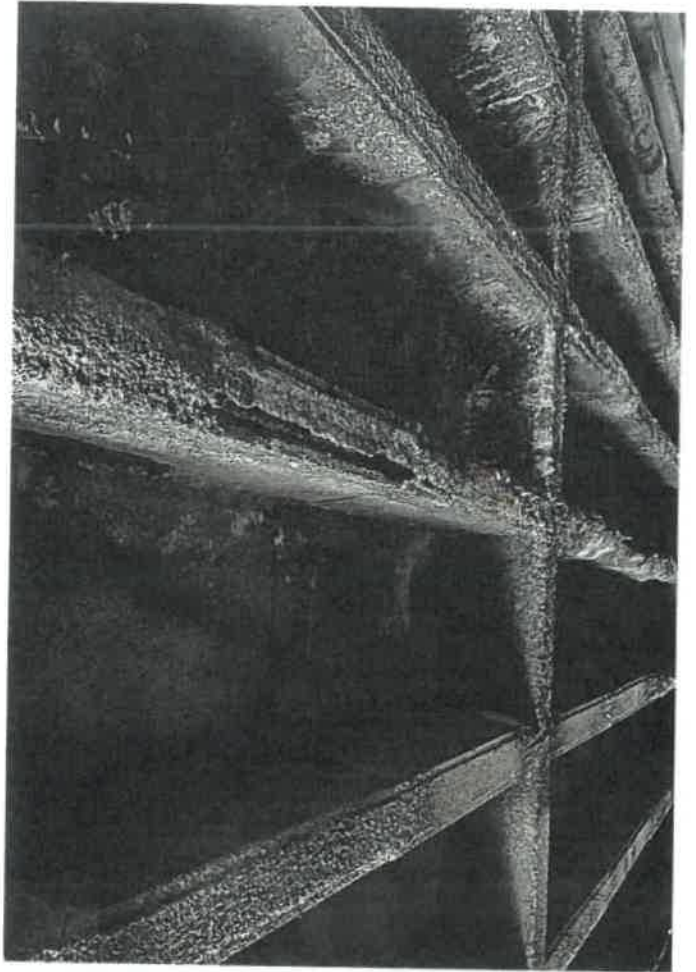
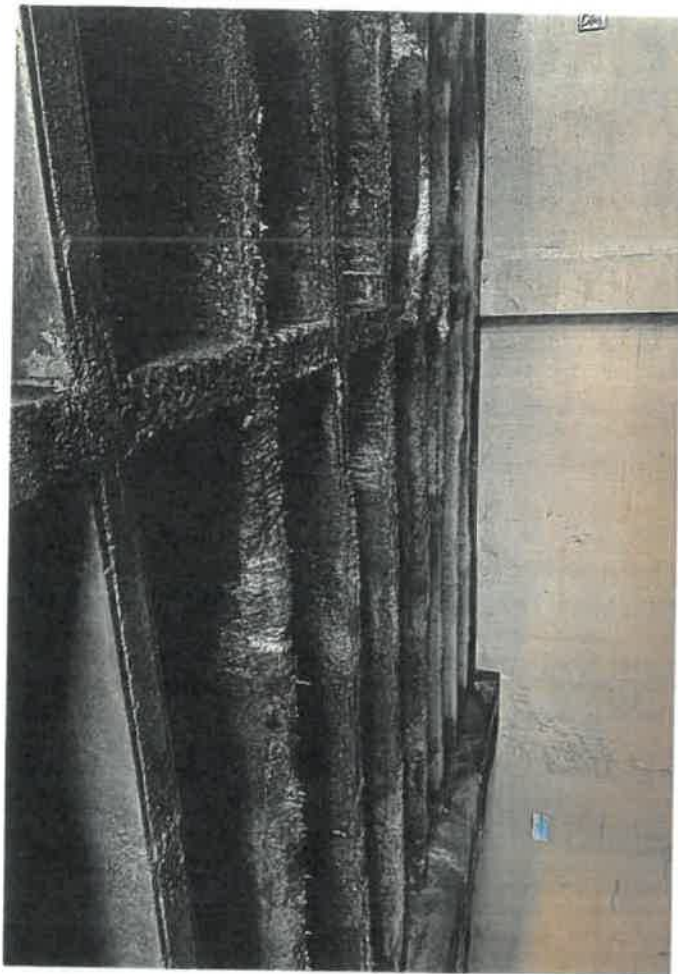
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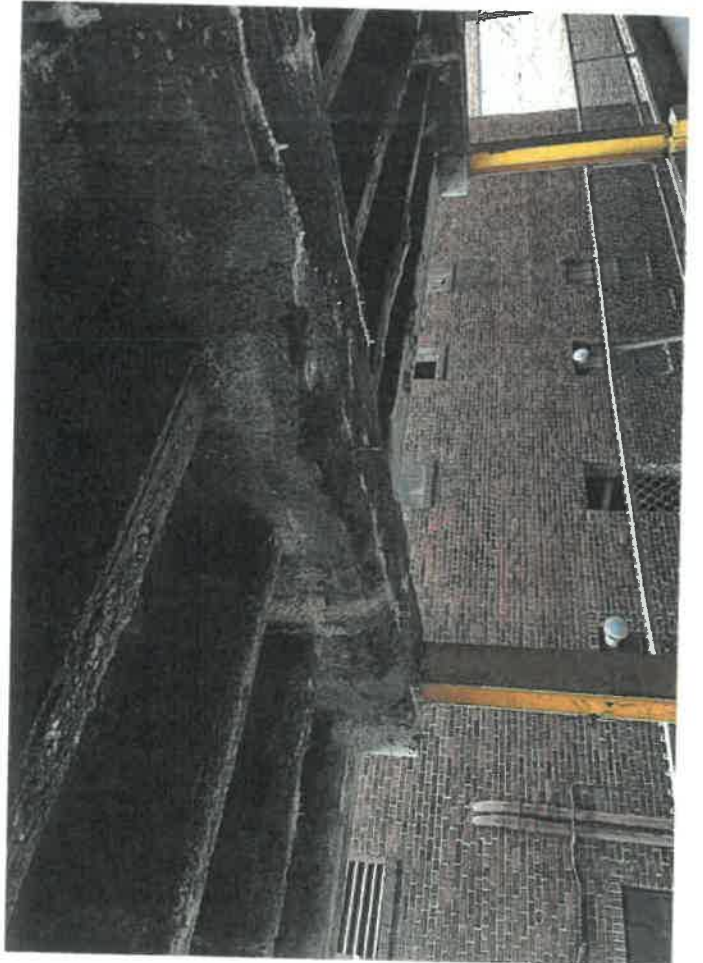
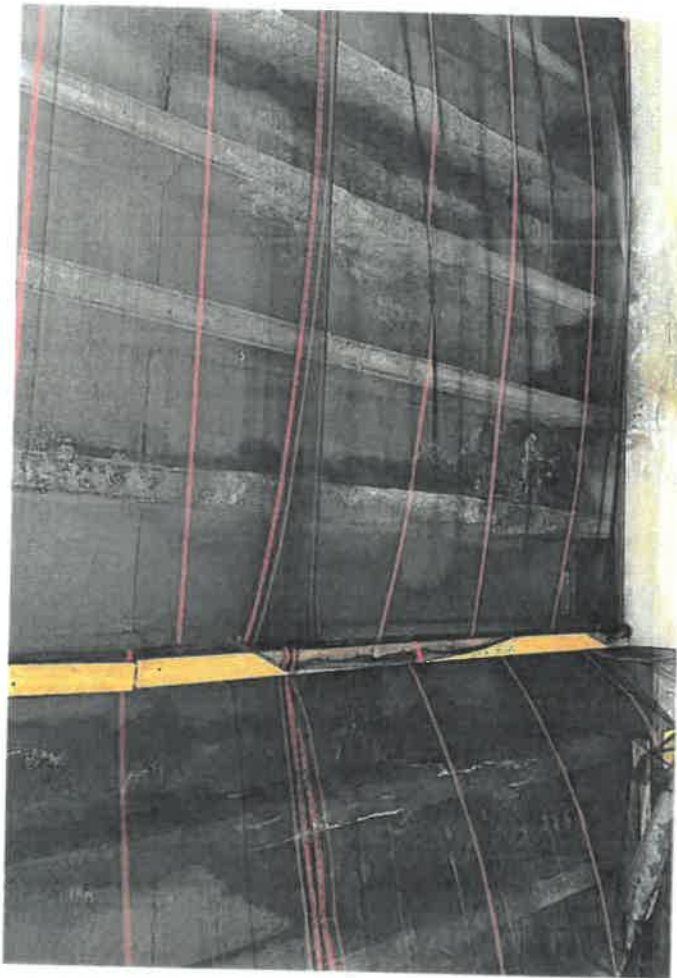


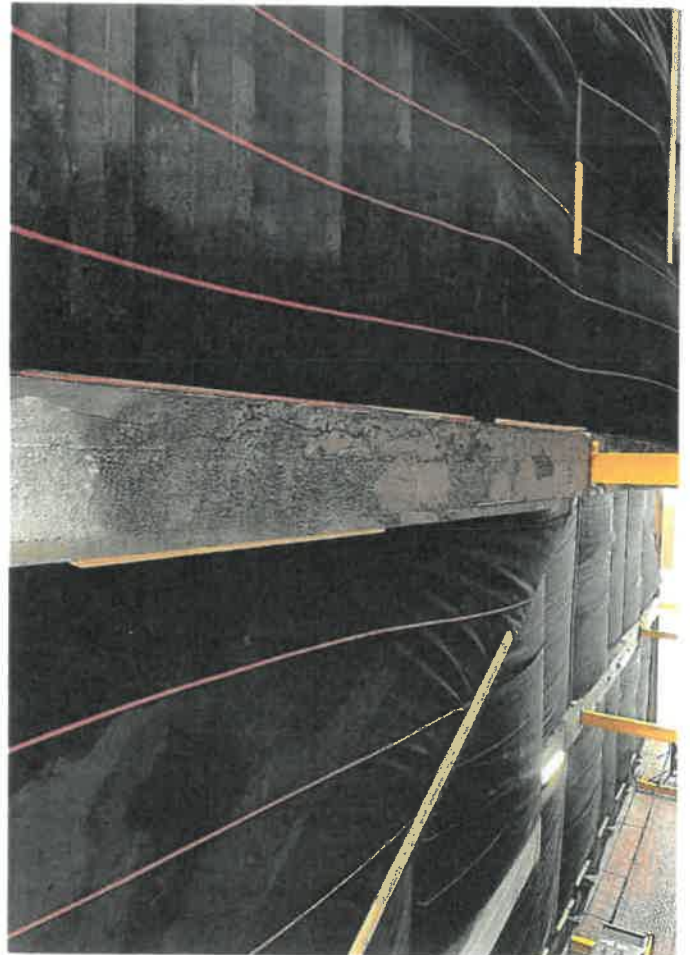
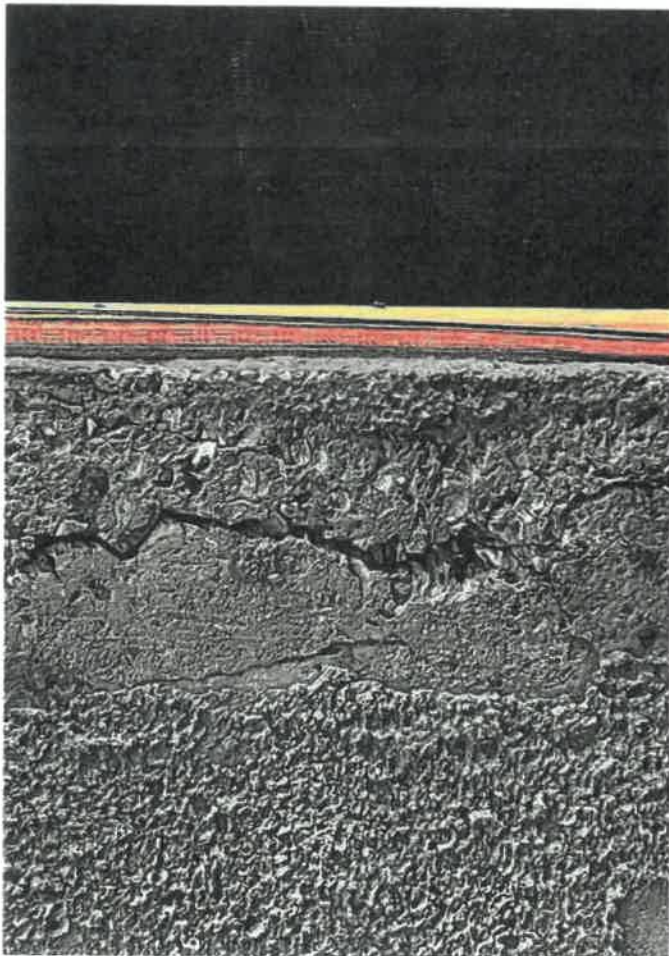
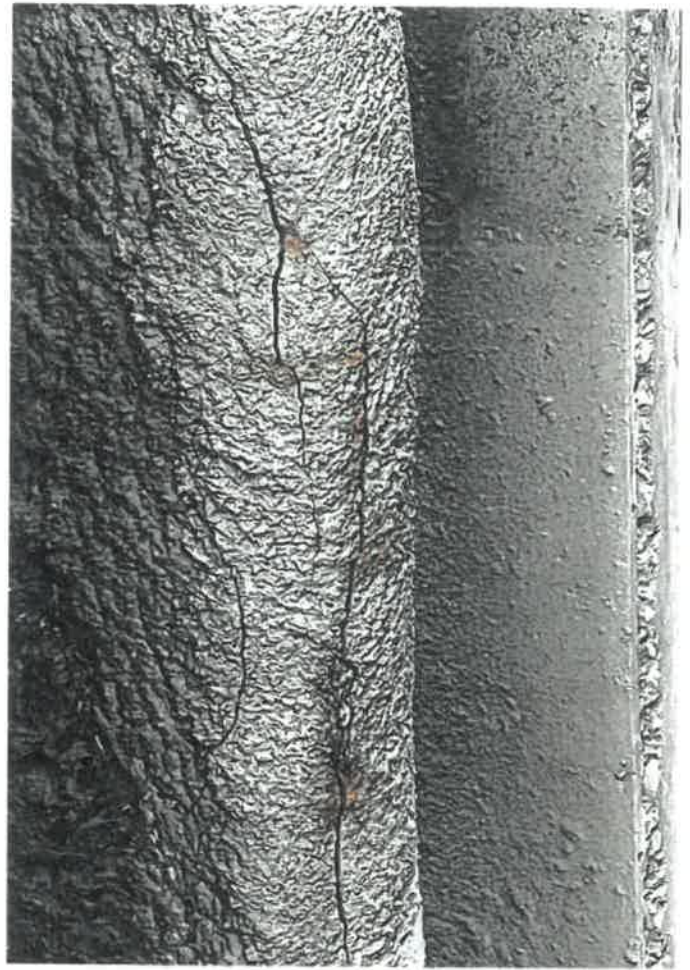
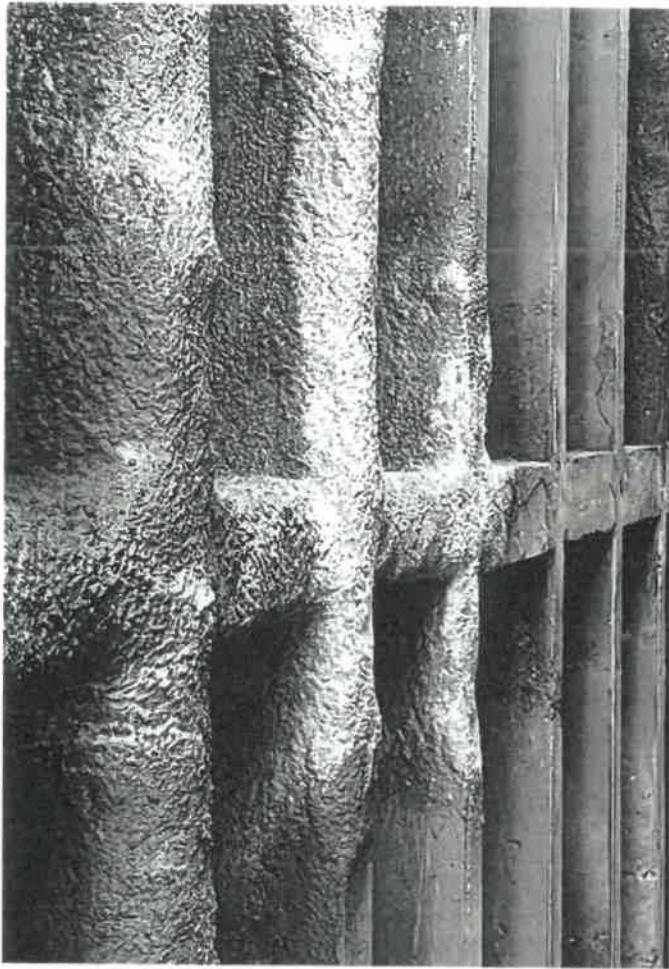
Rebecca M. Brown, Director

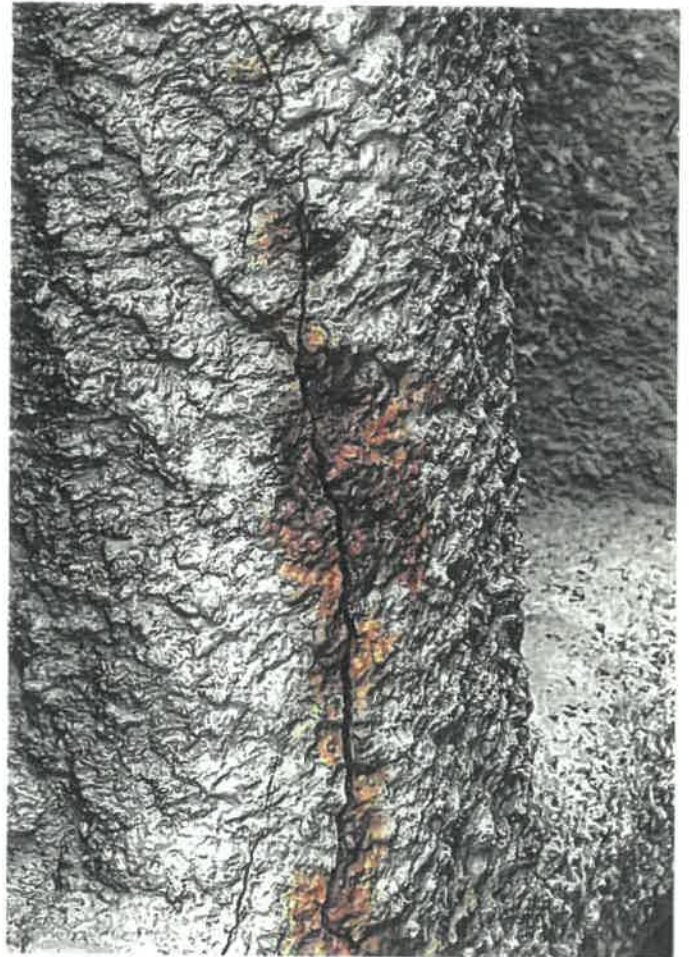
/photos enclosed

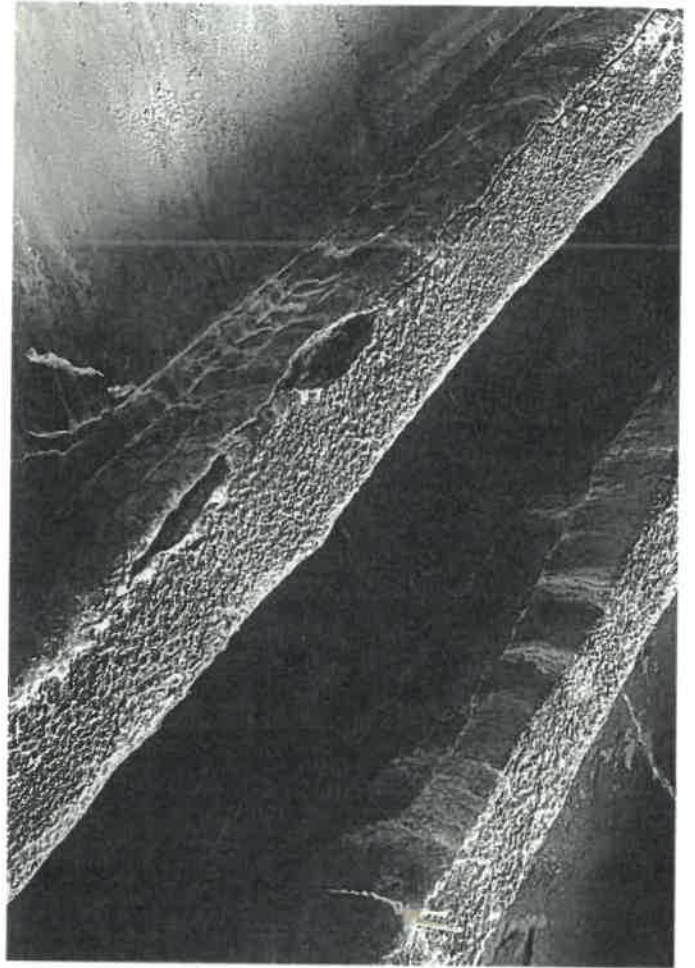
Cc: Scott Brown, Inspector  
Omar Strohm, City Manager  
Mayor Matthew Pacifico  
Tim Hileman, Fire Chief  
Joe Merrill, Chief of Police

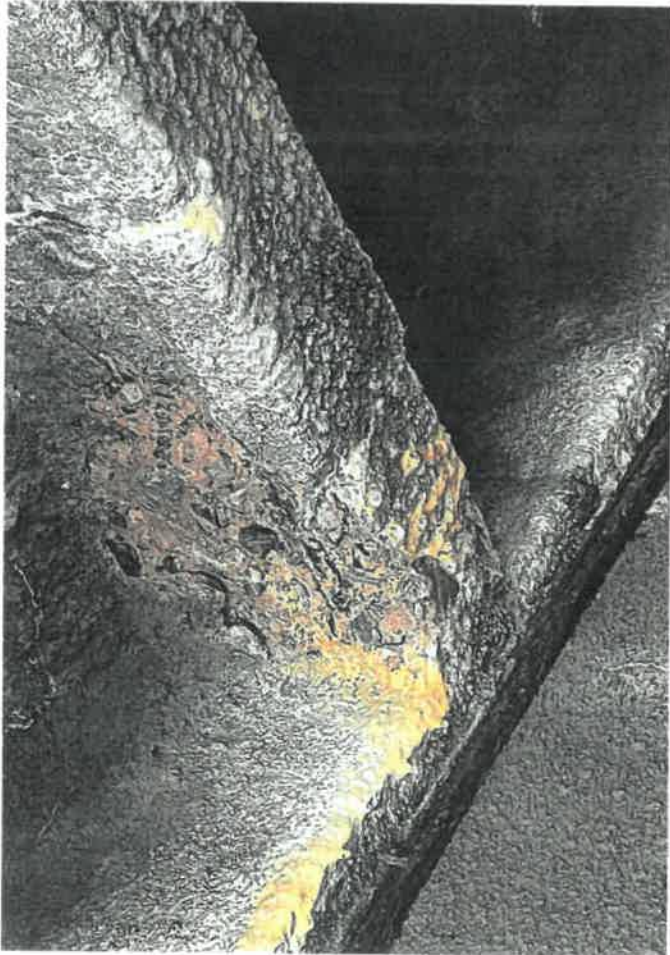
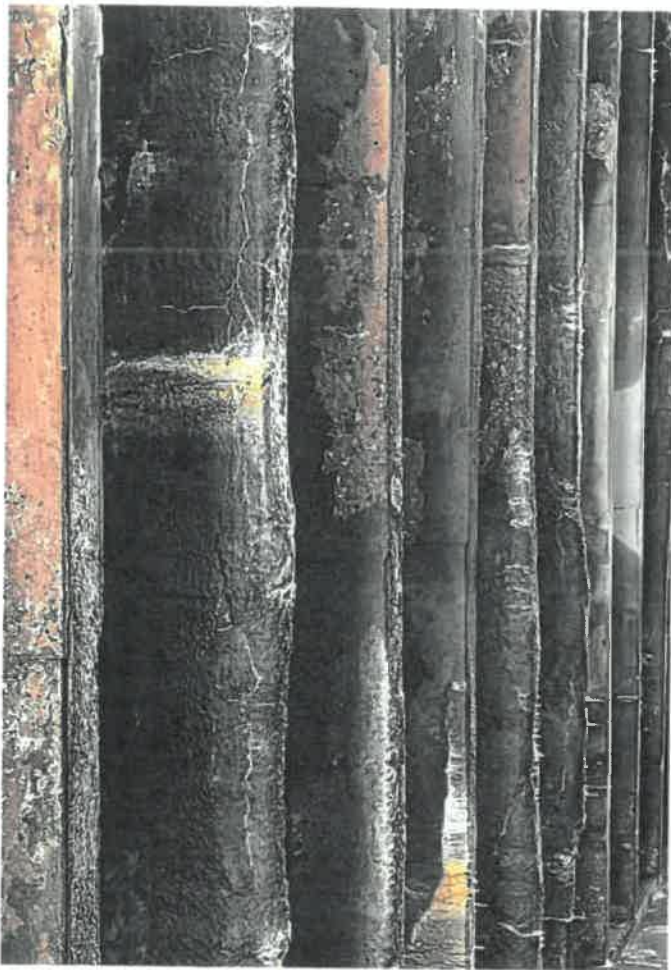


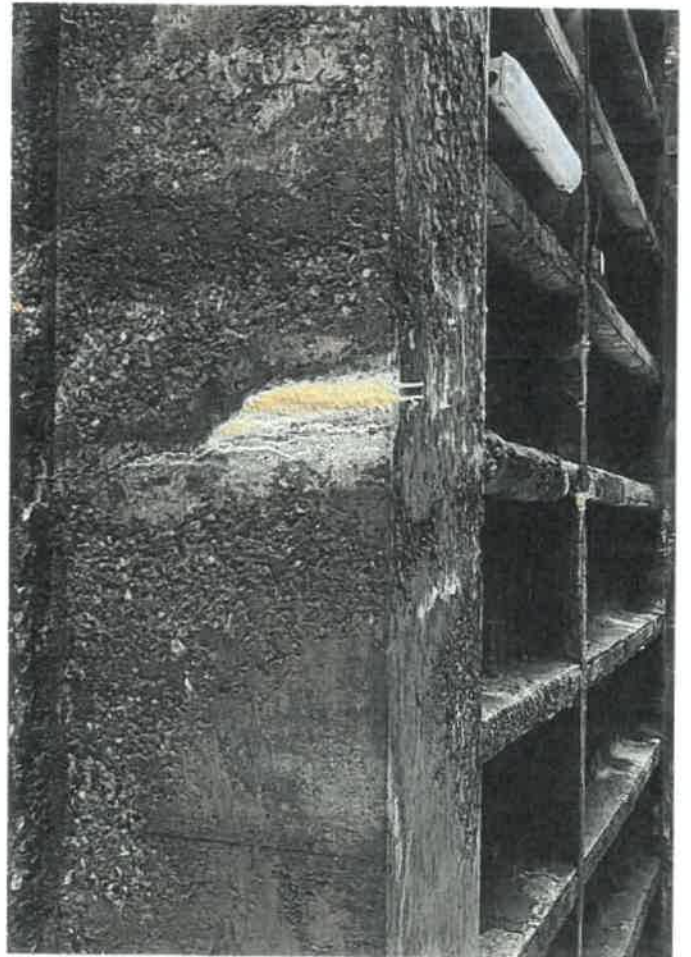




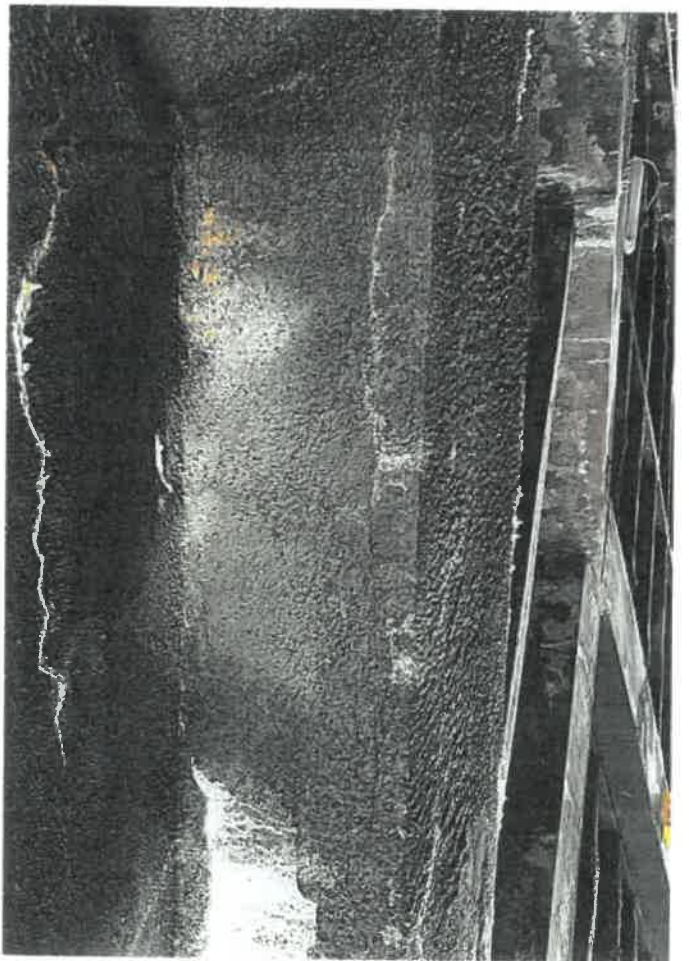
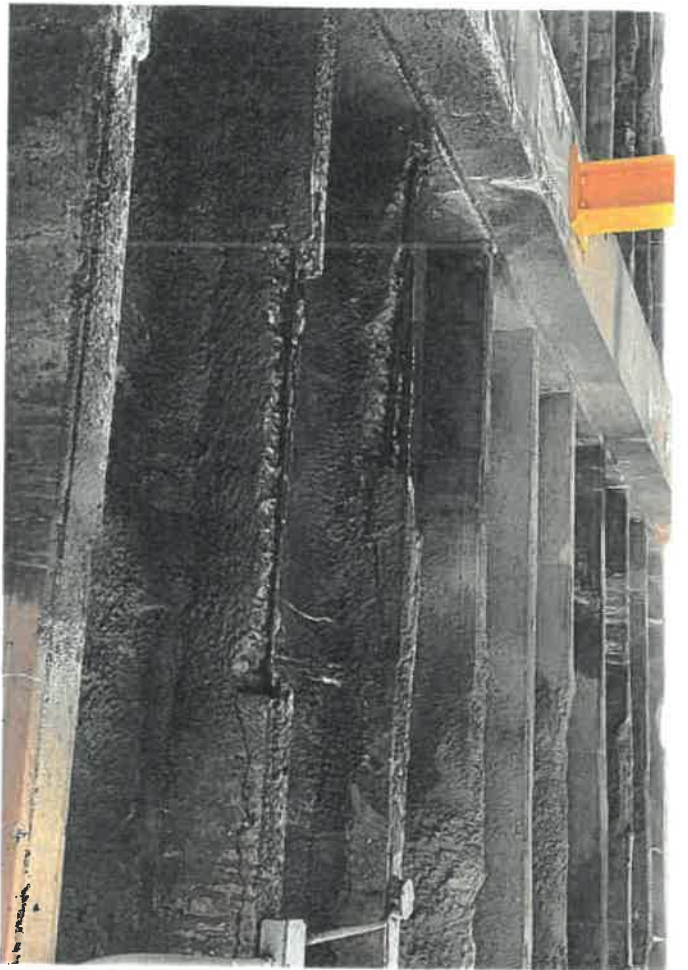
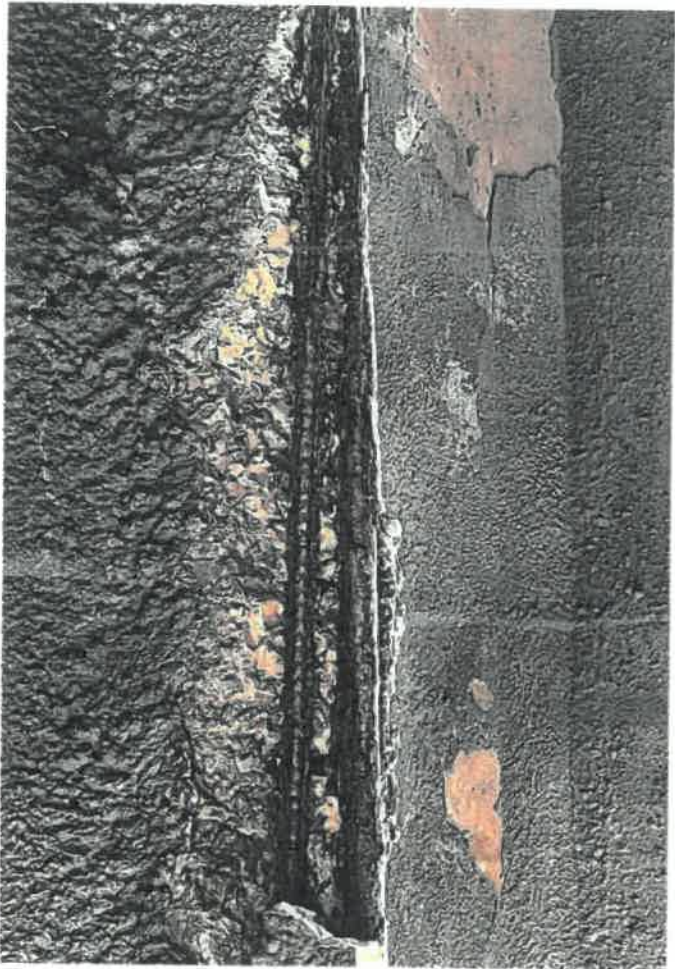






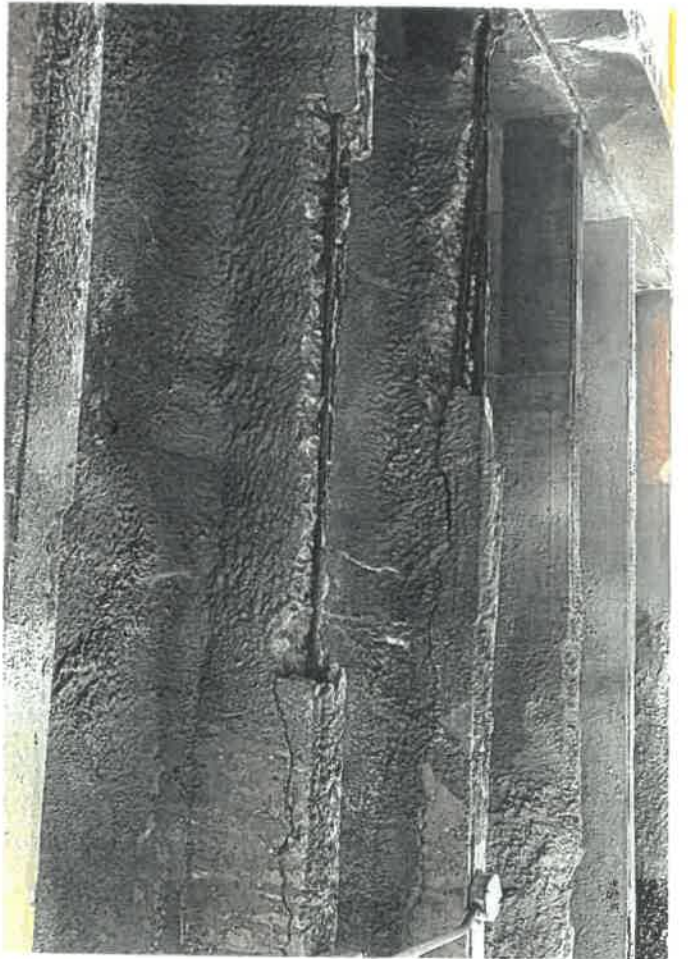
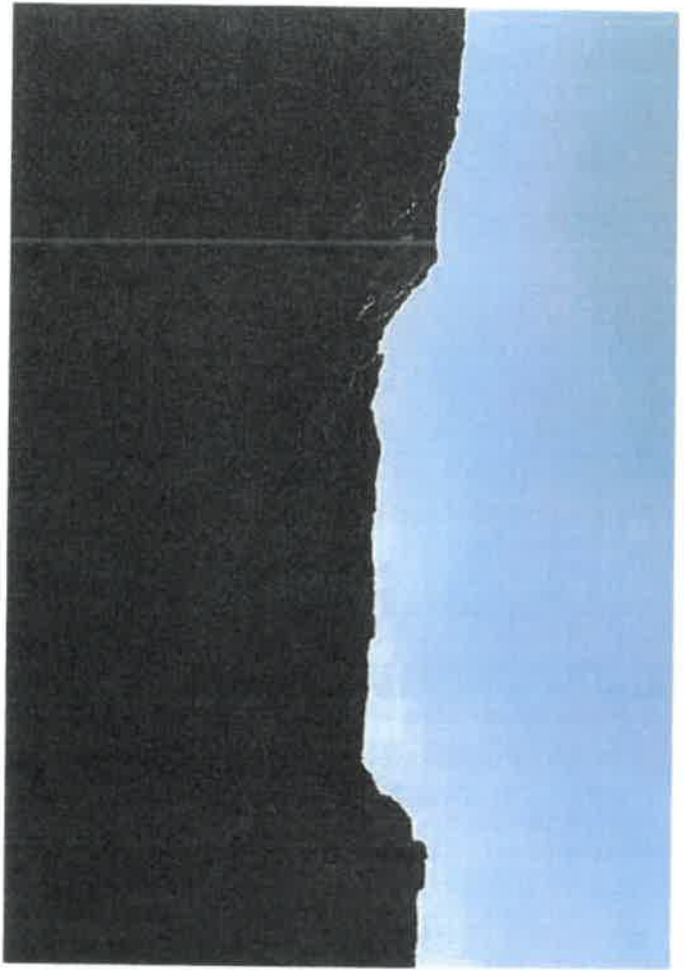
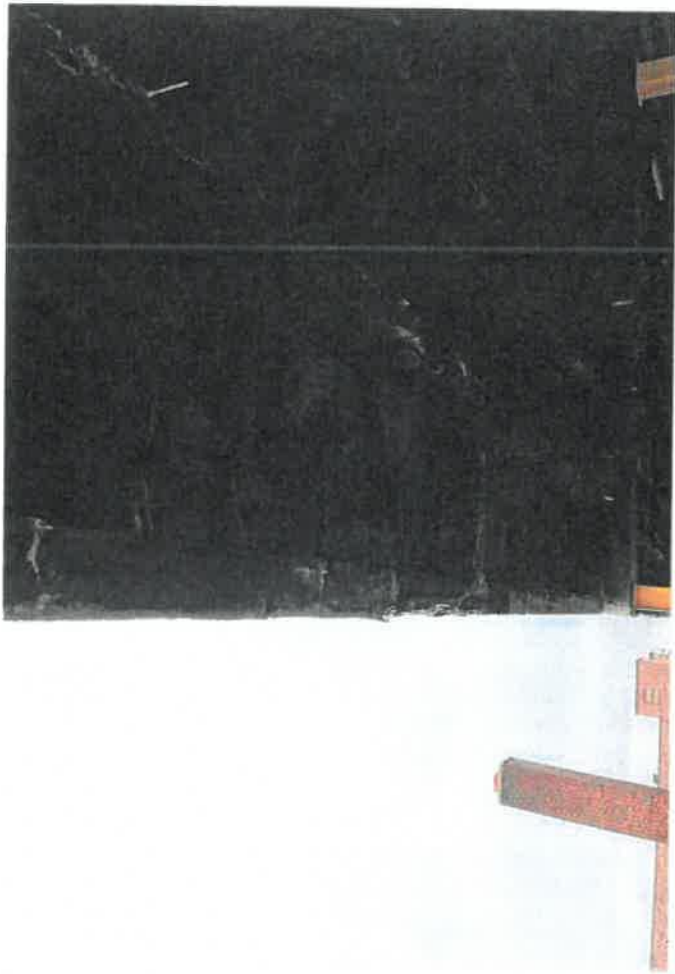














1301 12<sup>th</sup> Street Suite 103  
Altoona PA 16601  
(814) 949-2456 phone  
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# CITY OF ALTOONA



## DEPARTMENT OF CODES AND INSPECTIONS

Rebecca M. Brown  
Director

Code Enforcement  
Inspections  
Land Development  
Zoning  
GIS

June 29, 2022

SENT VIA ELECTRONIC AND U.S. MAIL

Amrit K Dhaliwal  
DSD Investors LLC  
8102 West Chester Pike  
Upper Darby, PA 19082  
[amritqucikstar@gmail.com](mailto:amritqucikstar@gmail.com)

Matt DePaolis  
Perry Wellington Realty  
1103 N. Juniata St.  
Hollidaysburg PA 16648  
[MattD@perrywellingtonrealty.com](mailto:MattD@perrywellingtonrealty.com)

**RE: Parking Garage, 1301-11 12<sup>th</sup> Avenue, Altoona PA 16601**

Dear Ms. Dhaliwal:

On April 6, 2022 at 11:30 a.m., the City of Altoona Building Inspector conducted an inspection of the parking garage located at 1301-11 12<sup>th</sup> Avenue in response to a complaint received.

You were issued a letter on April 7, 2022 indicating the structure has significant damage and deterioration. The building was condemned and ordered vacated and out of service, as it is very conceivable that a structural failure may occur given its condition. We ordered you to provide a report was showing a structural analysis, to include recommendations for continued use or disuse of the structure along with a tabulation of repairs and the procedures to be followed to execute the repairs. The building has been vacated; however, we have not received the report as required.

By way of this letter, be advised the City of Altoona must receive the following:

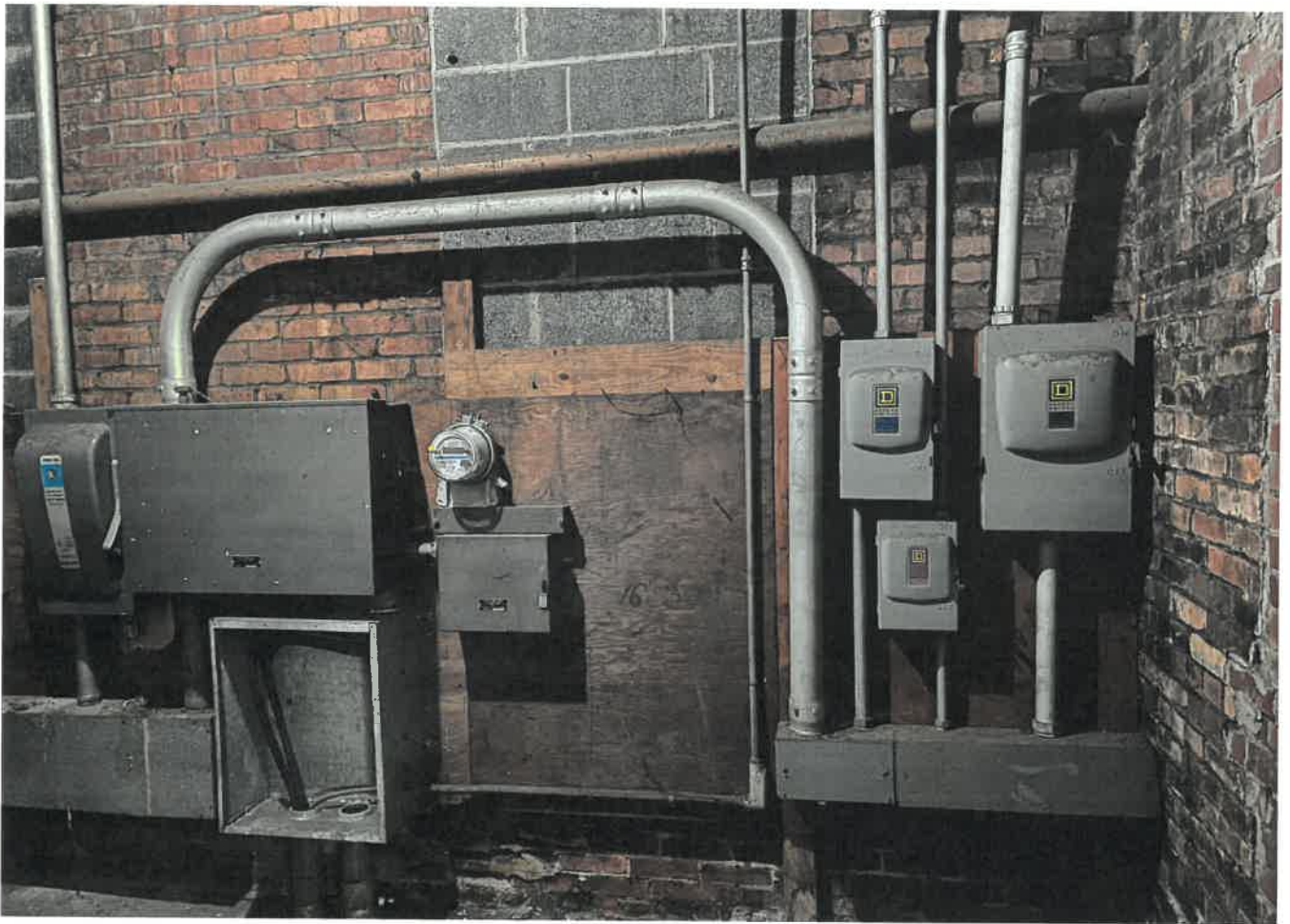
1. Copy of a signed contract with a structural engineer within ten (10) days
2. Copy of analysis report within thirty (30) days (or immediately if exists; preliminary report is acceptable)
3. Intentions for future plan for remediation within ten (10) days

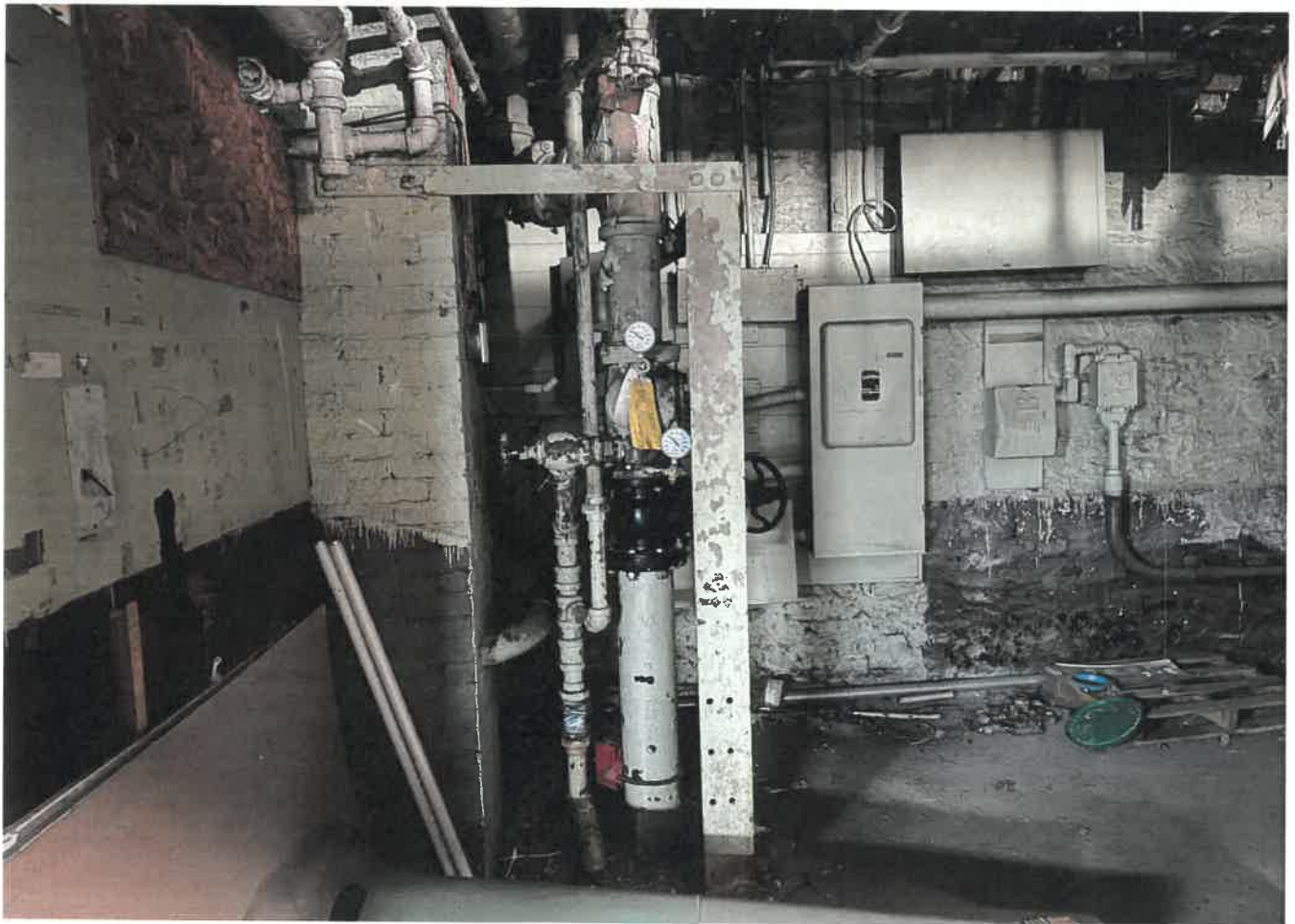
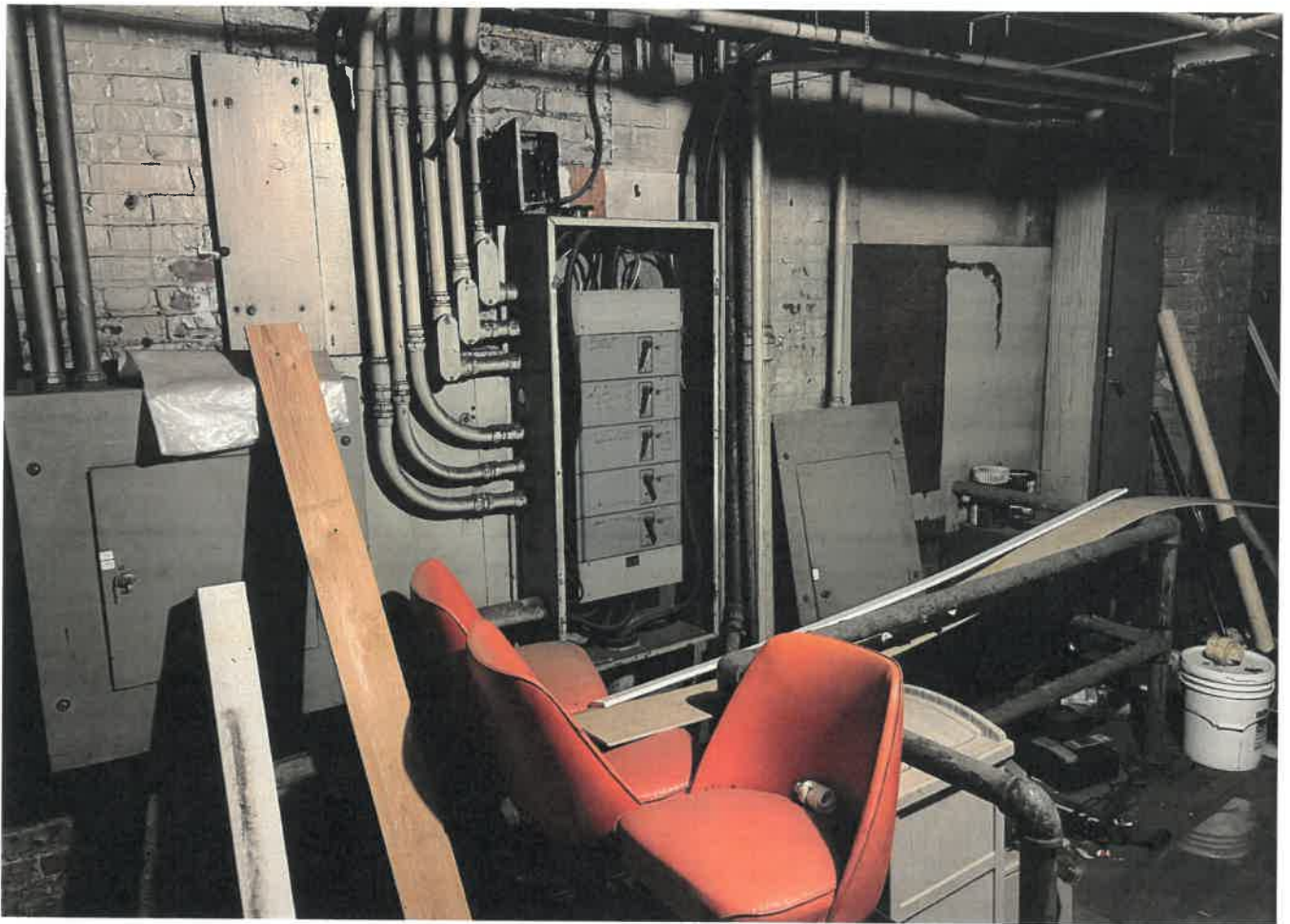
Thank you for your cooperation.

Sincerely,

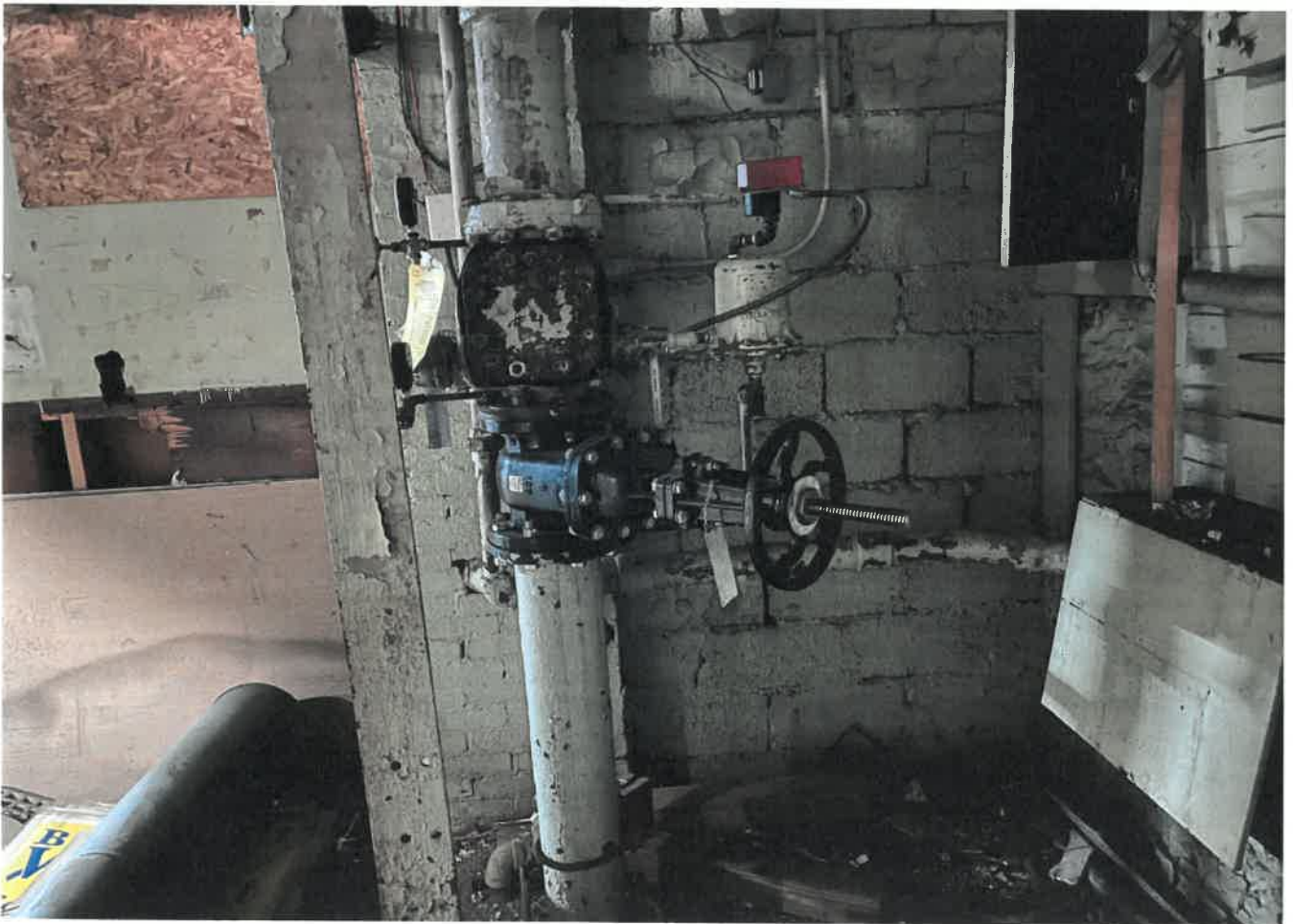
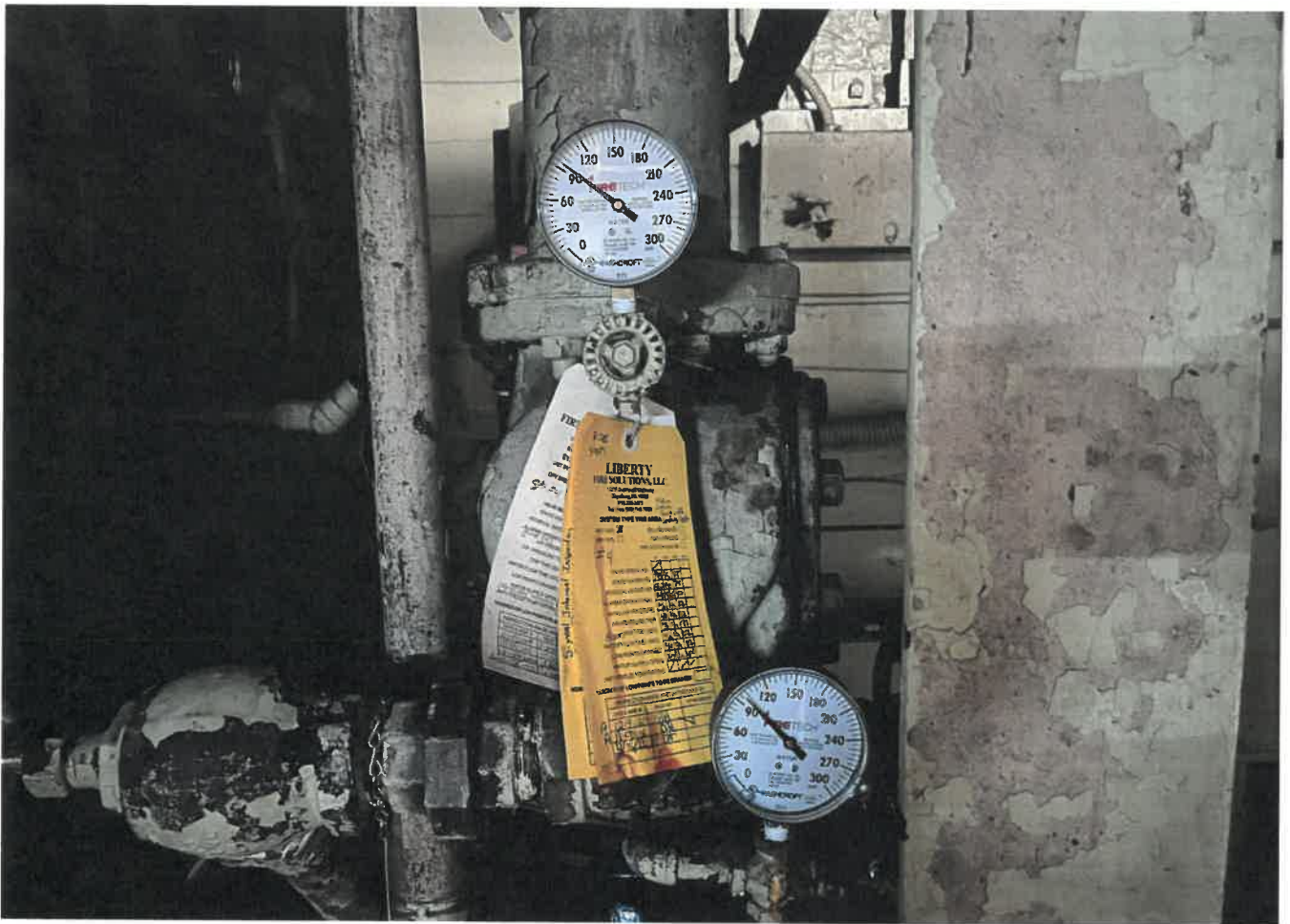
Rebecca M. Brown, Director

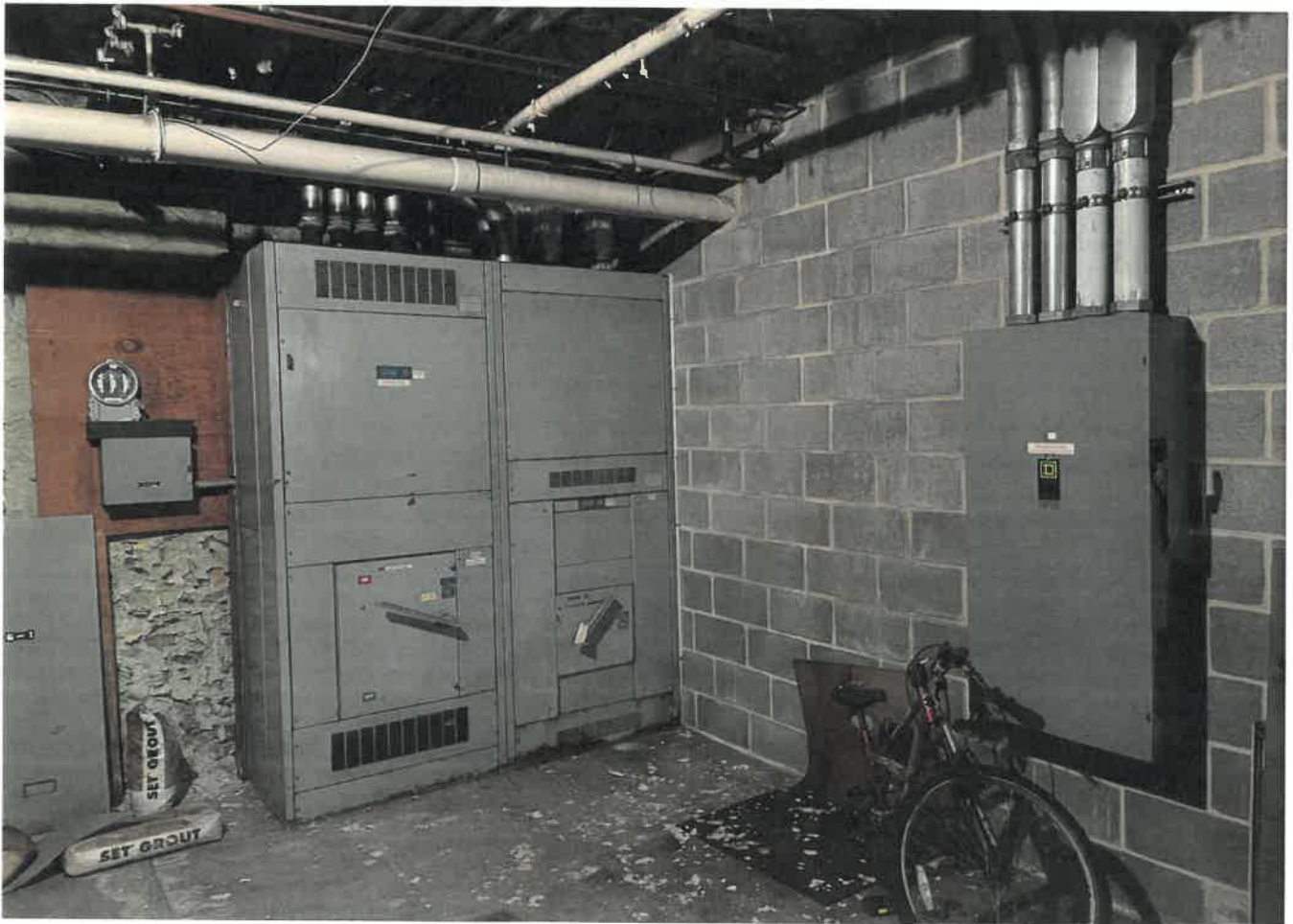
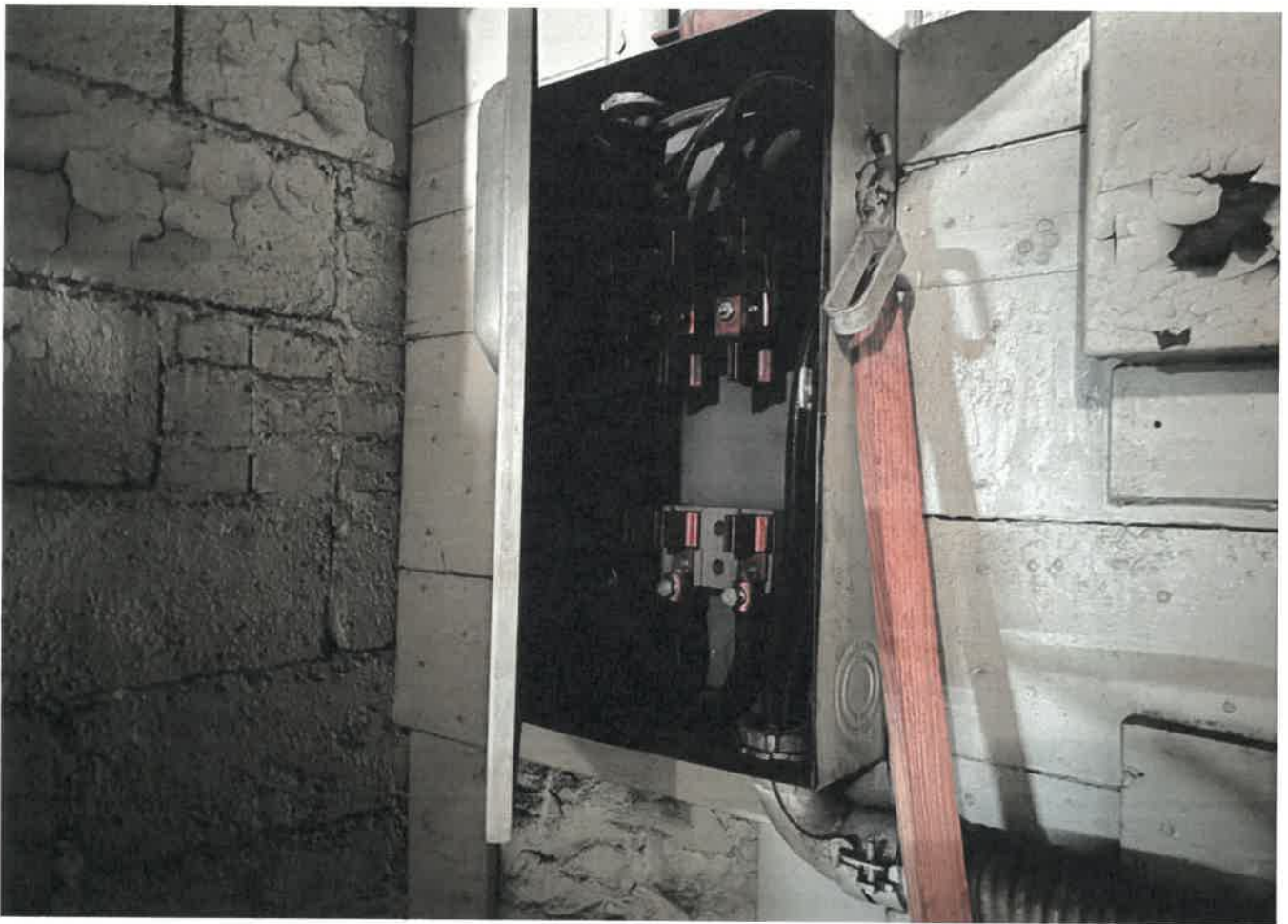
Cc: Scott Brown, Inspector

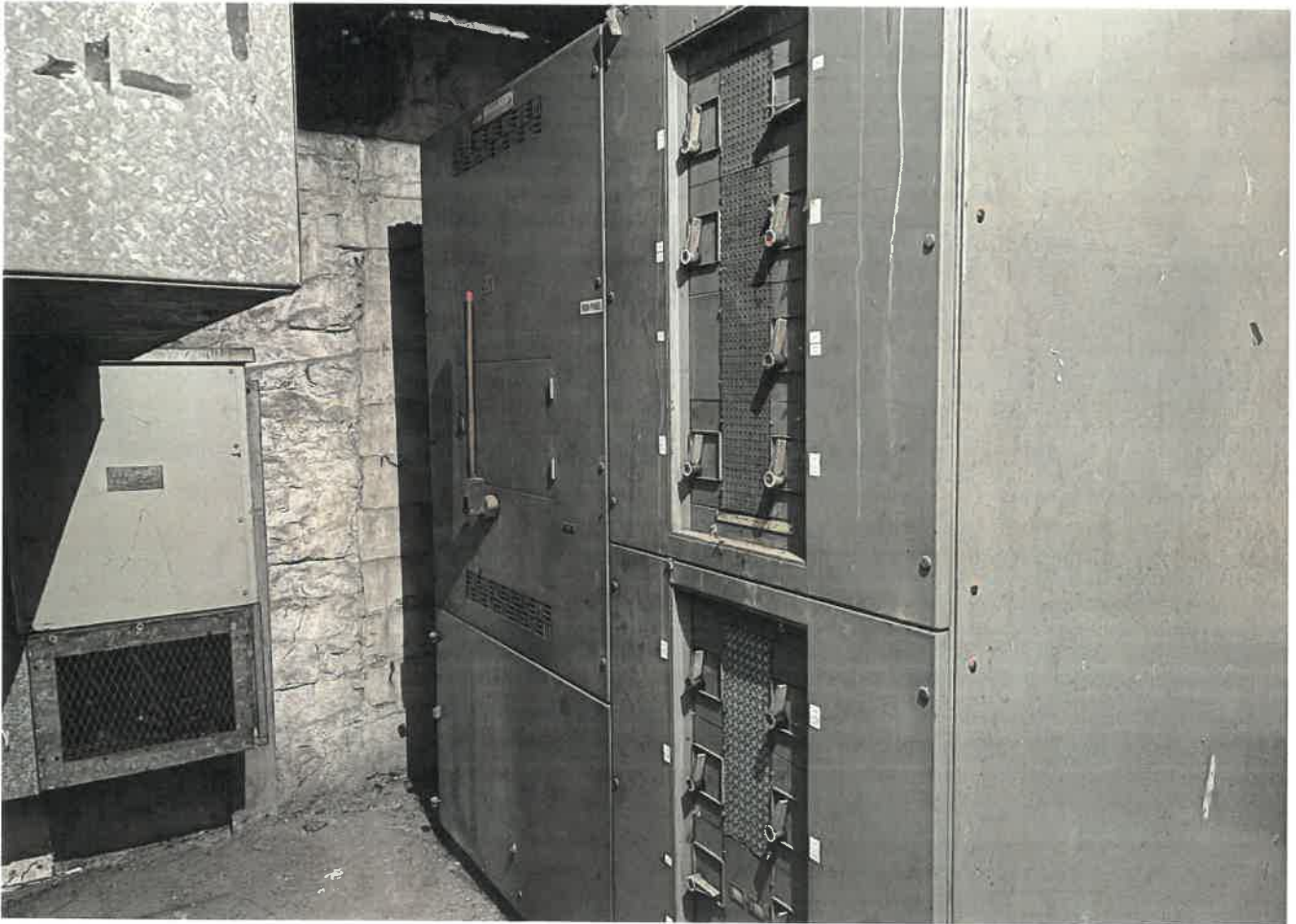
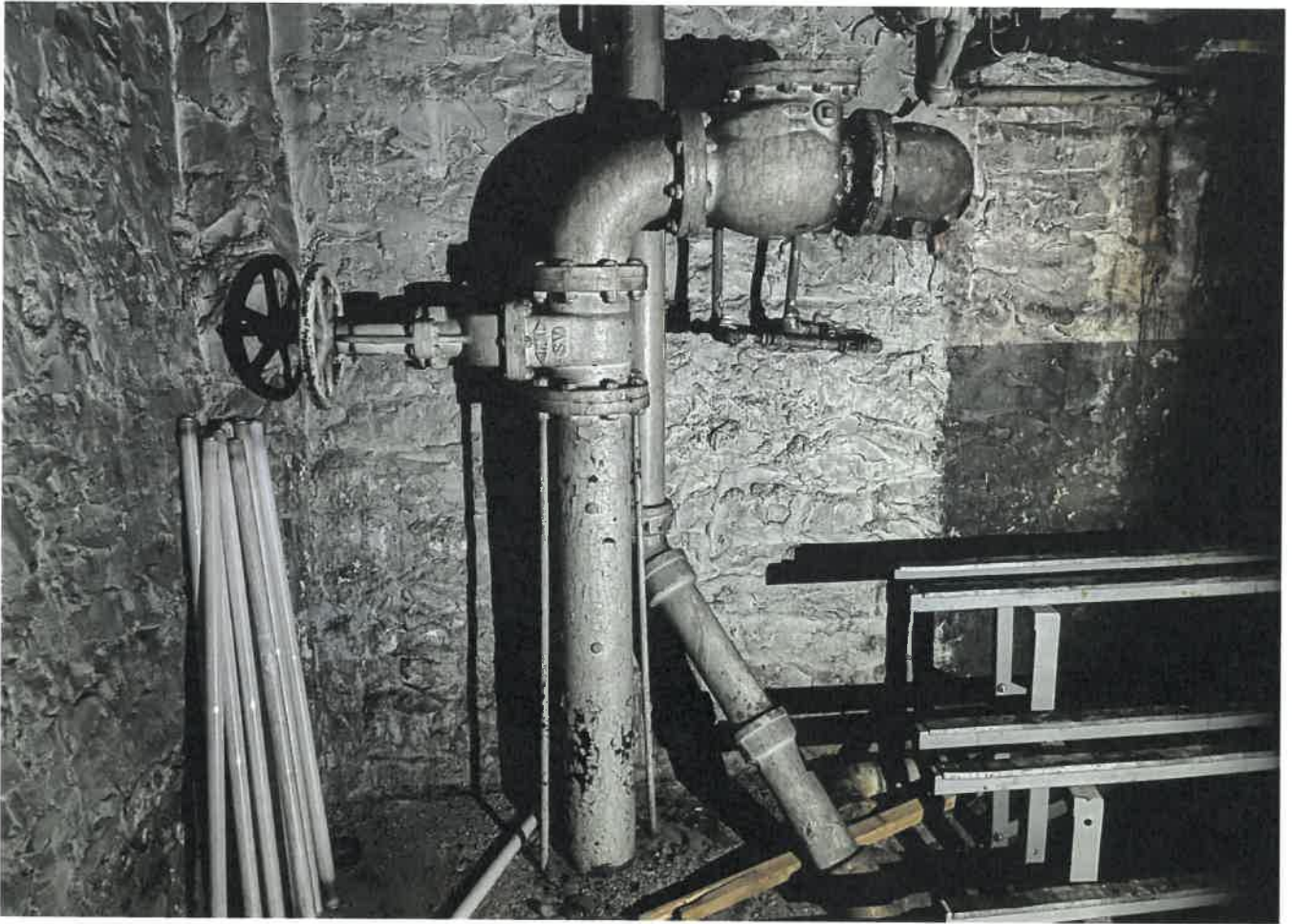


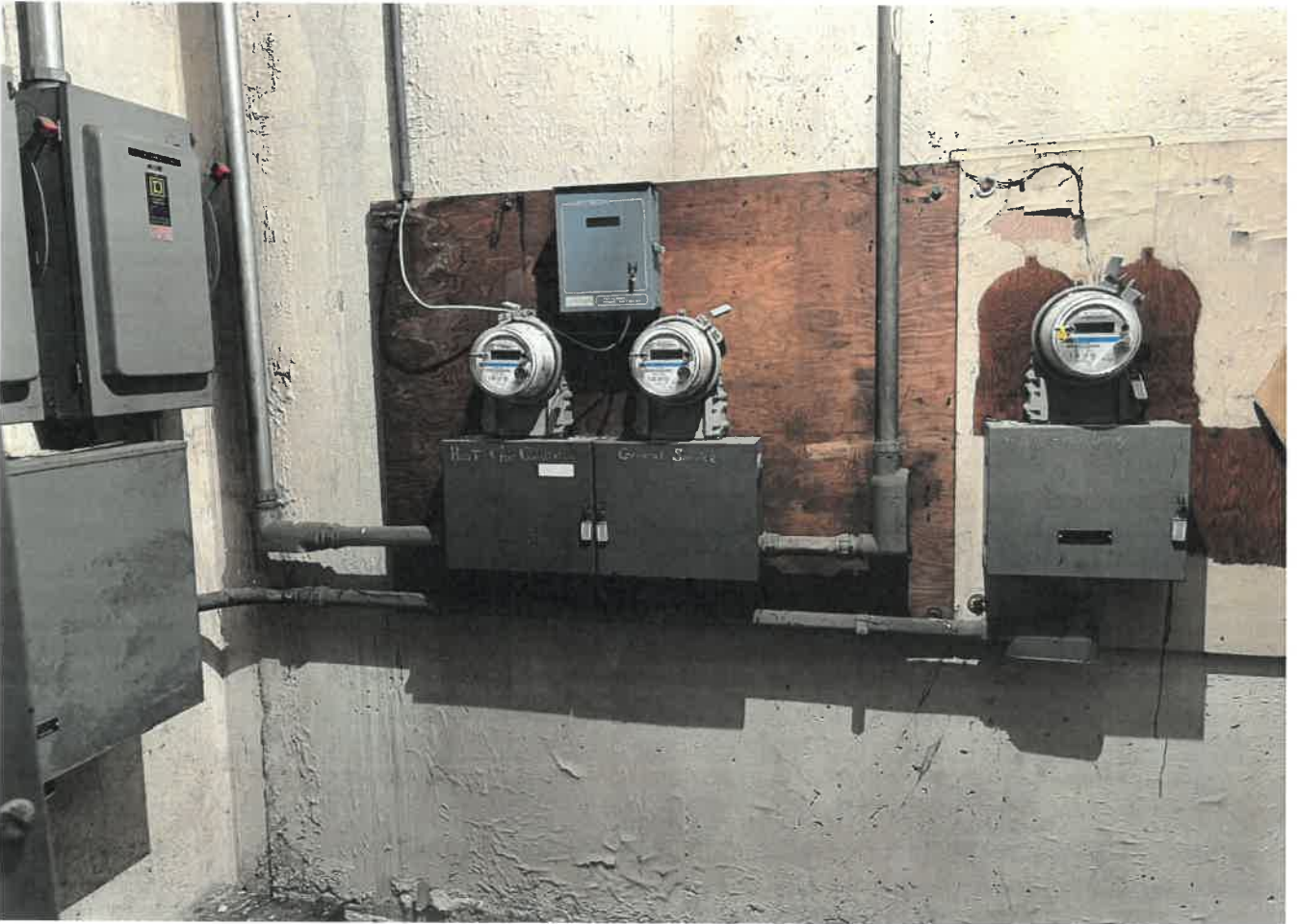


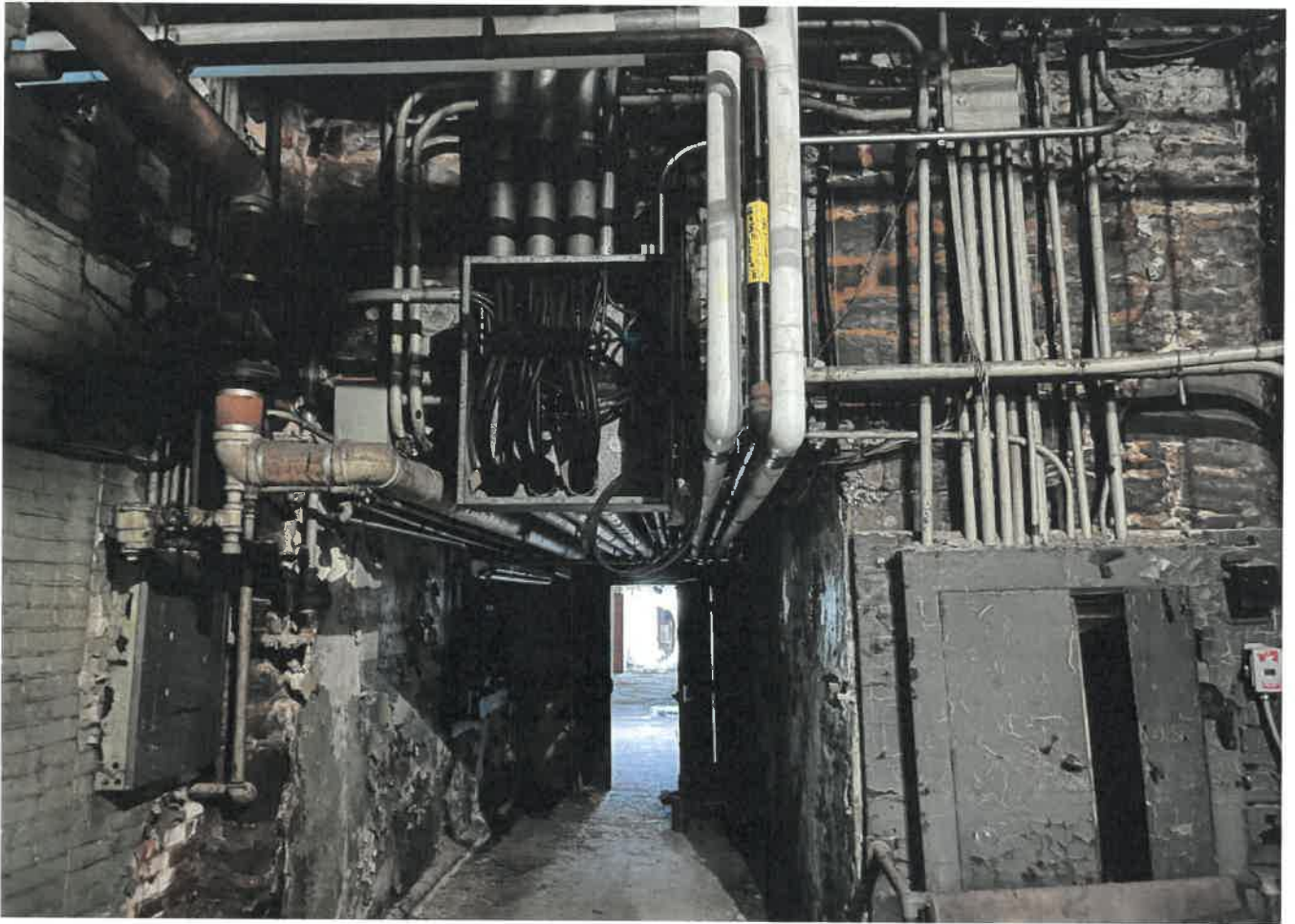




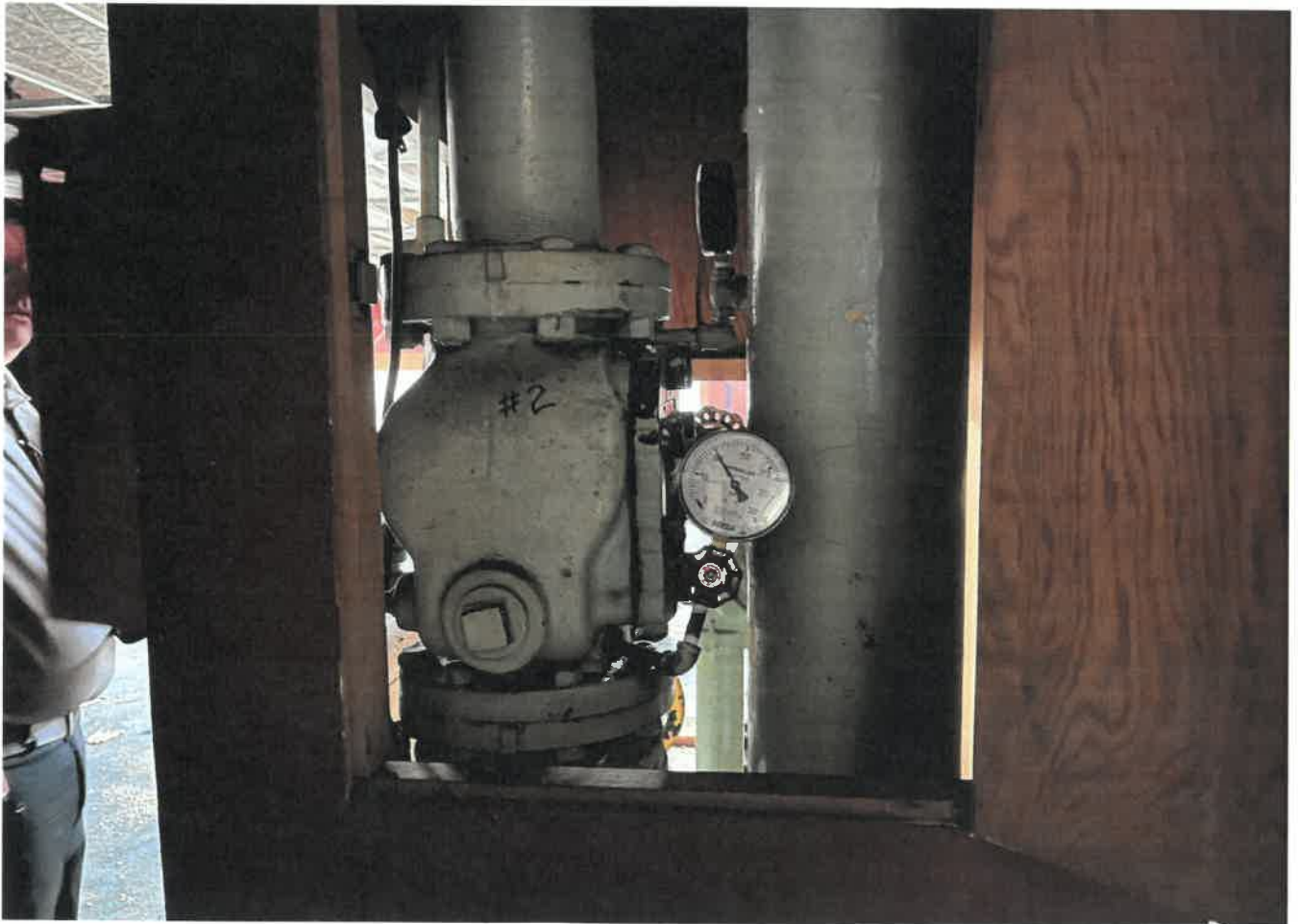
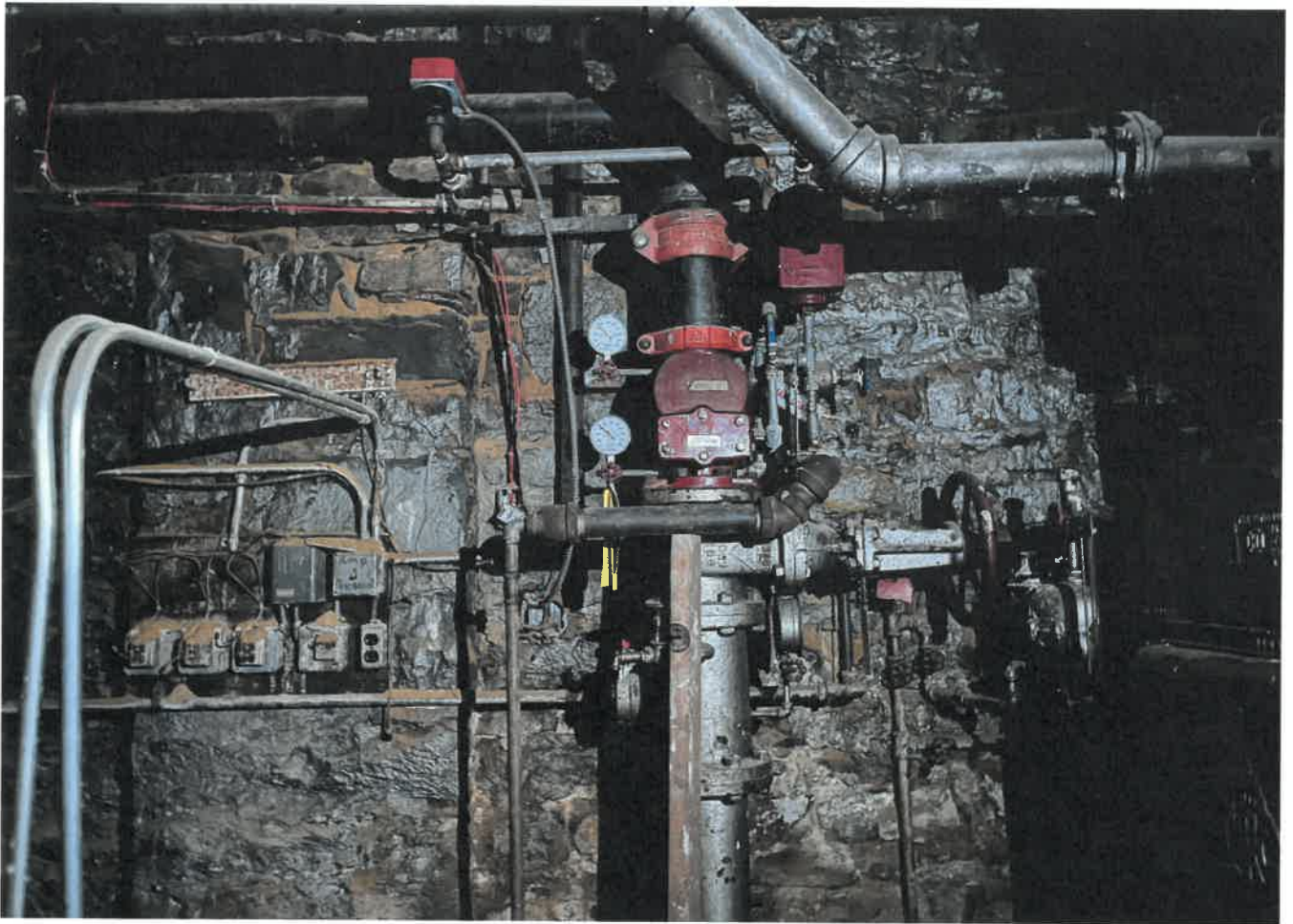


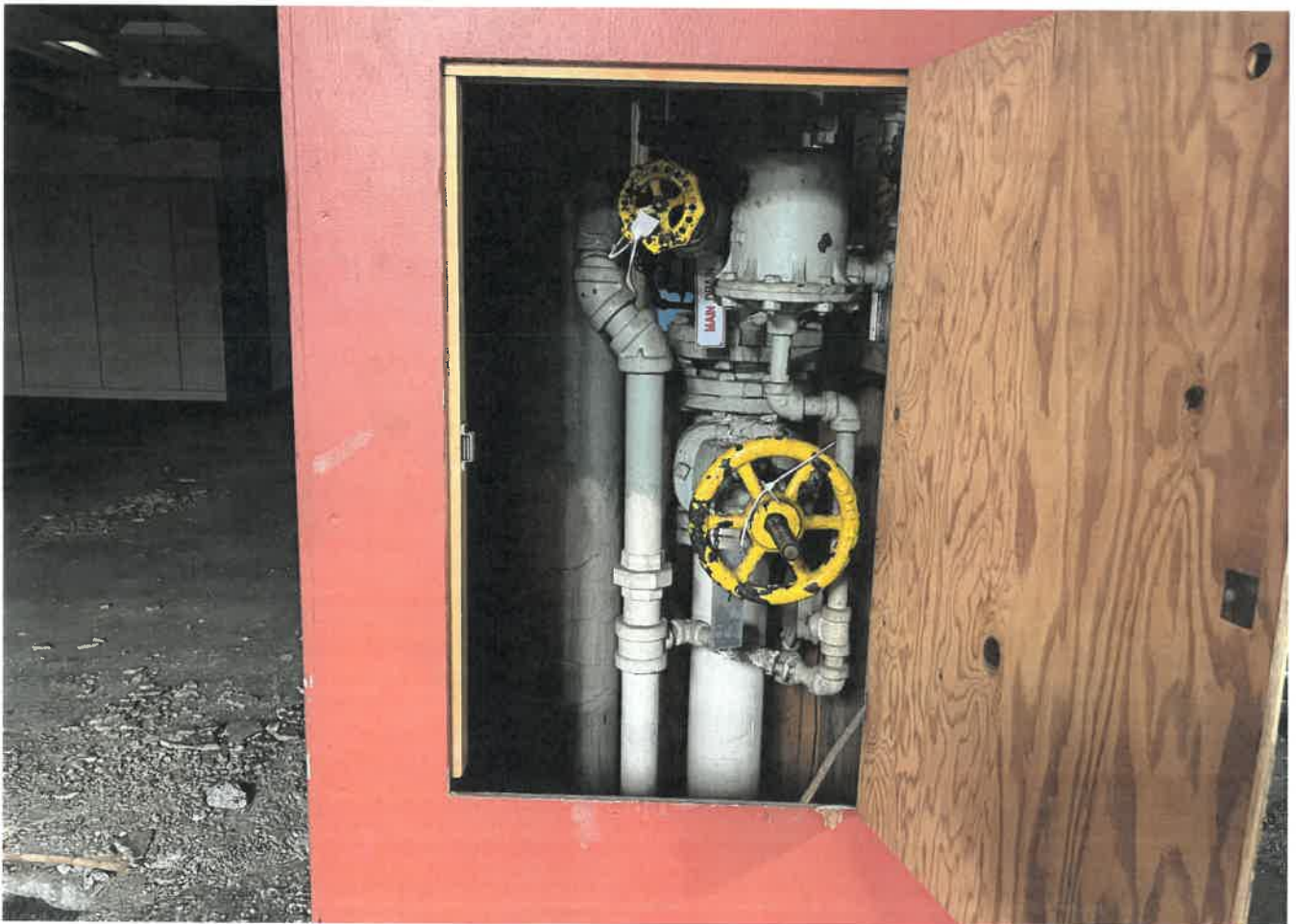






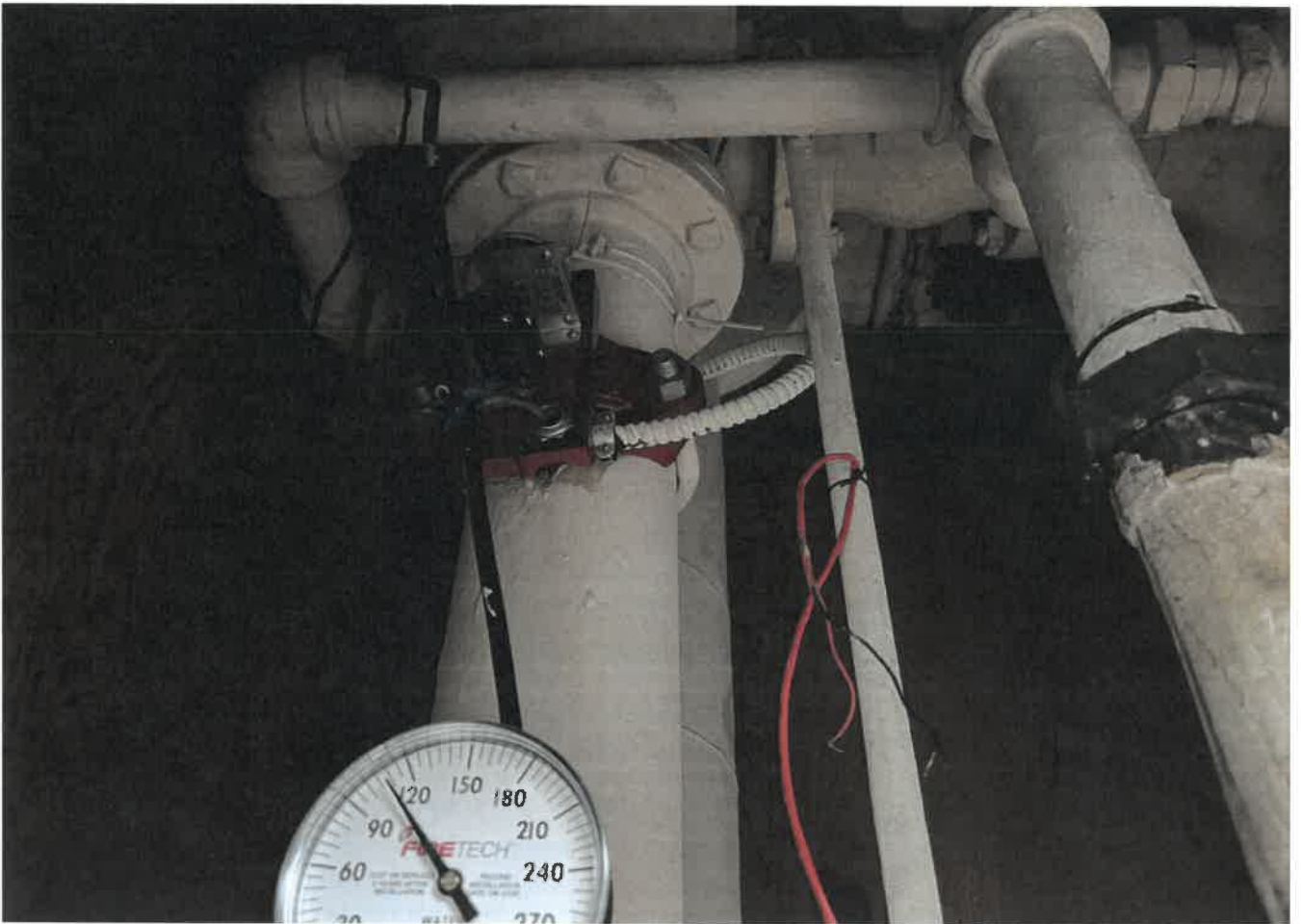
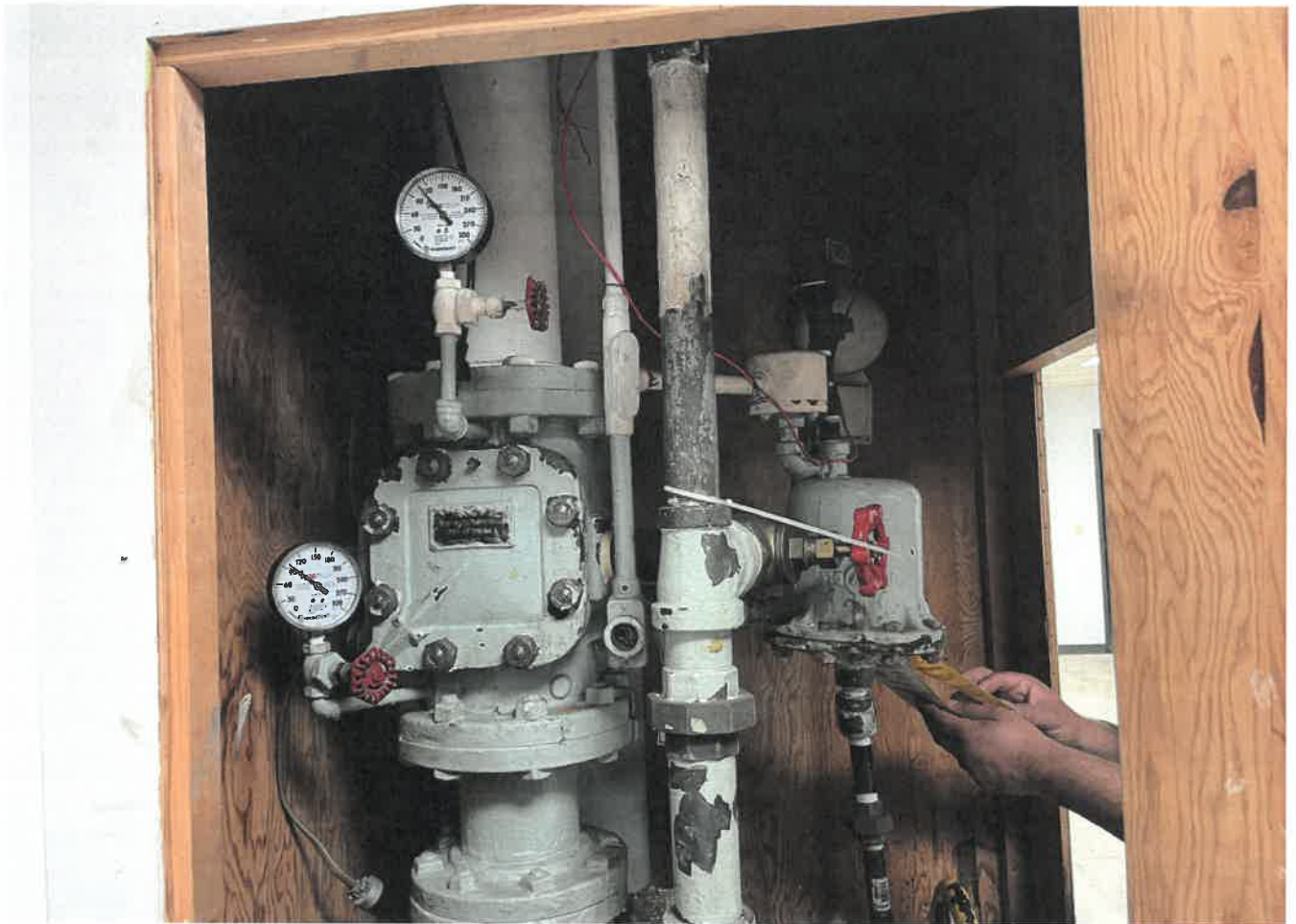


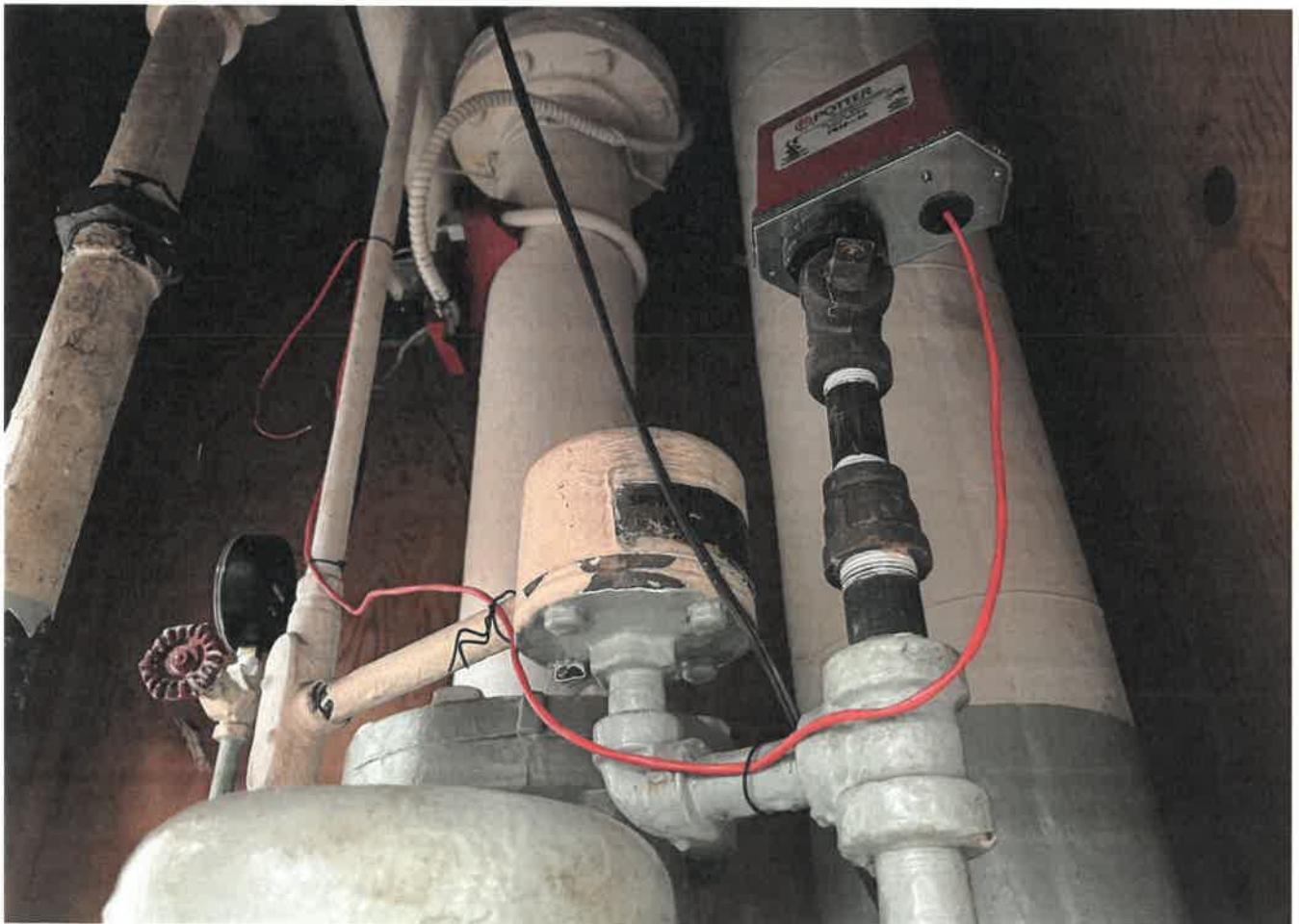
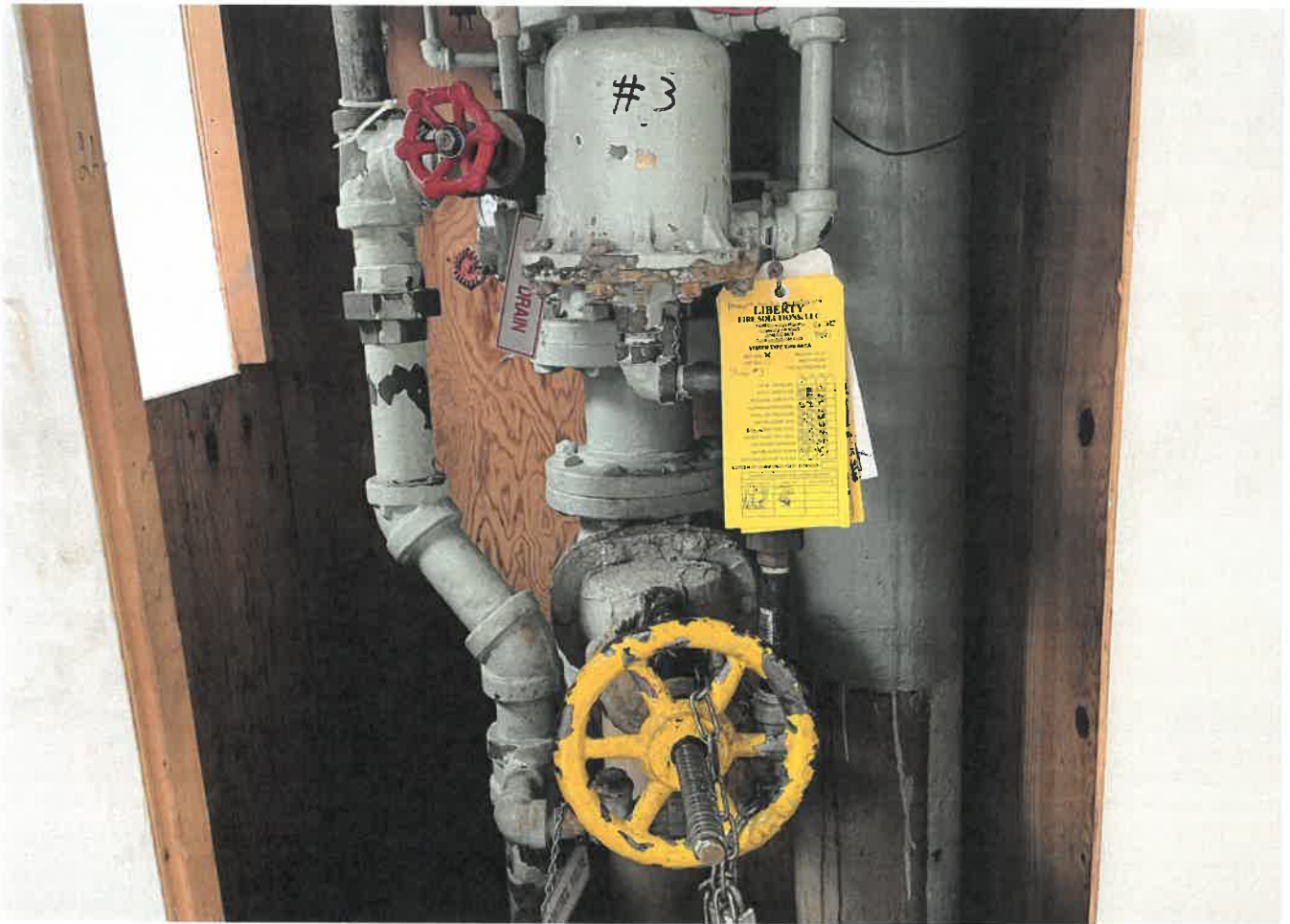


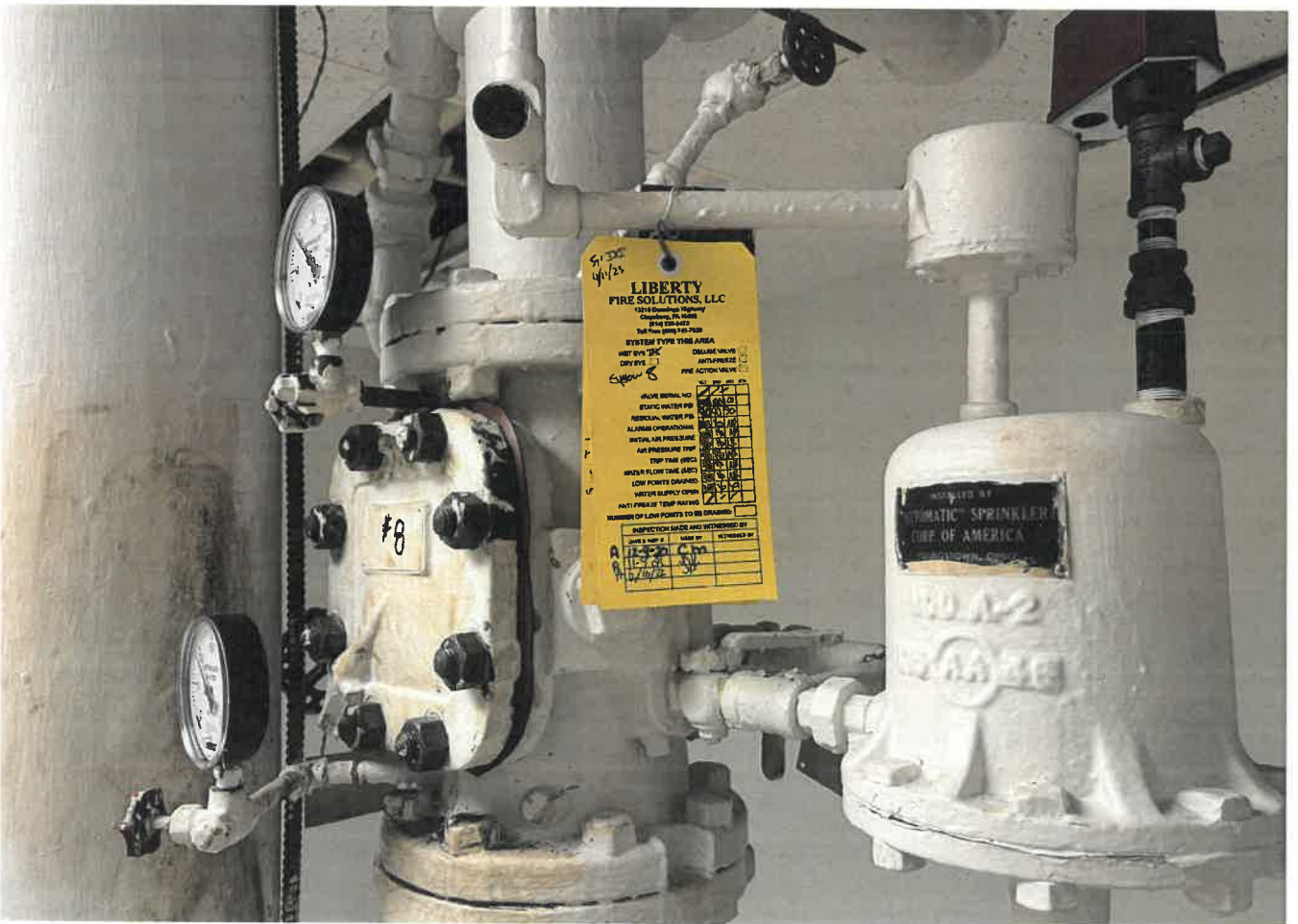
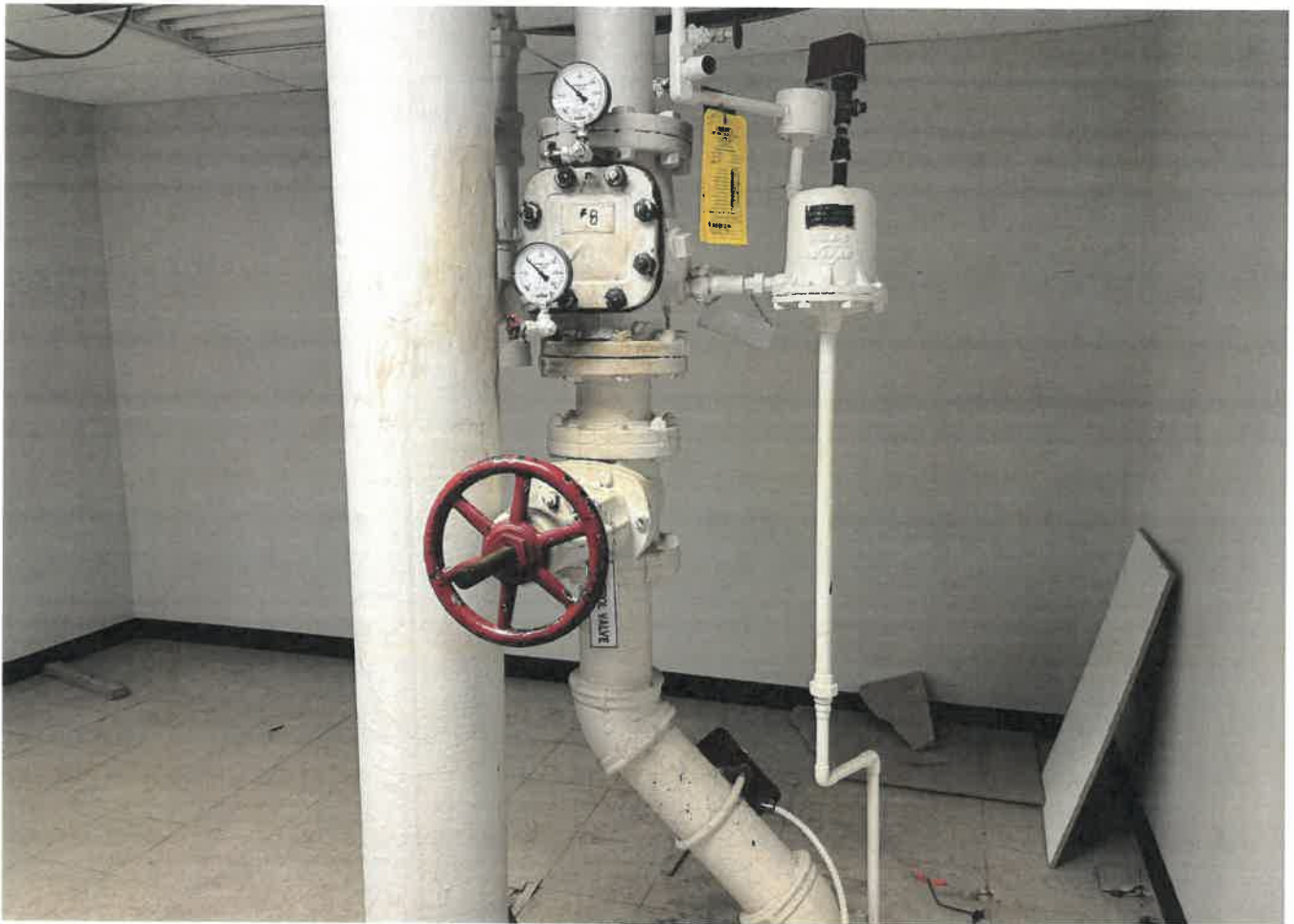


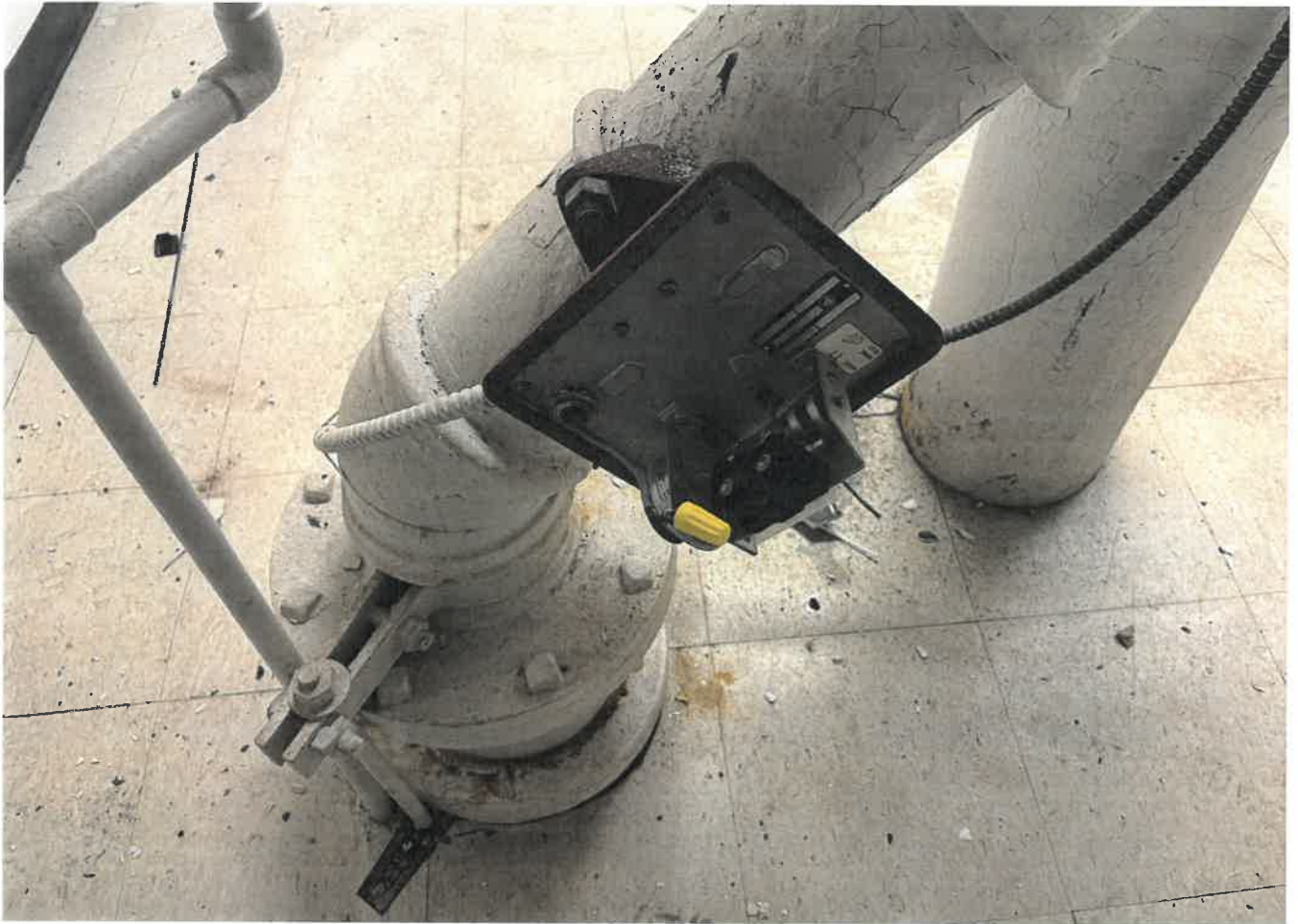


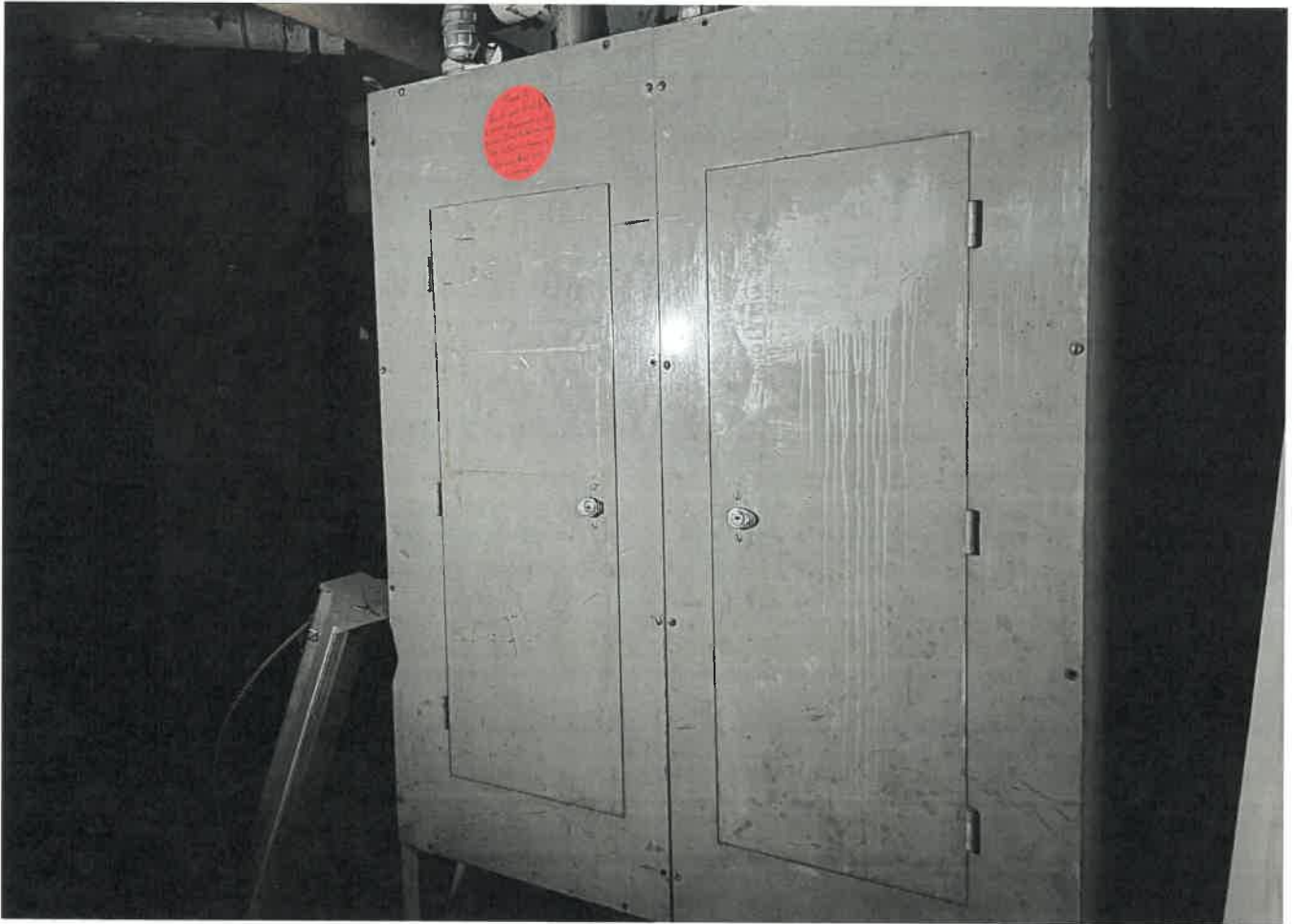














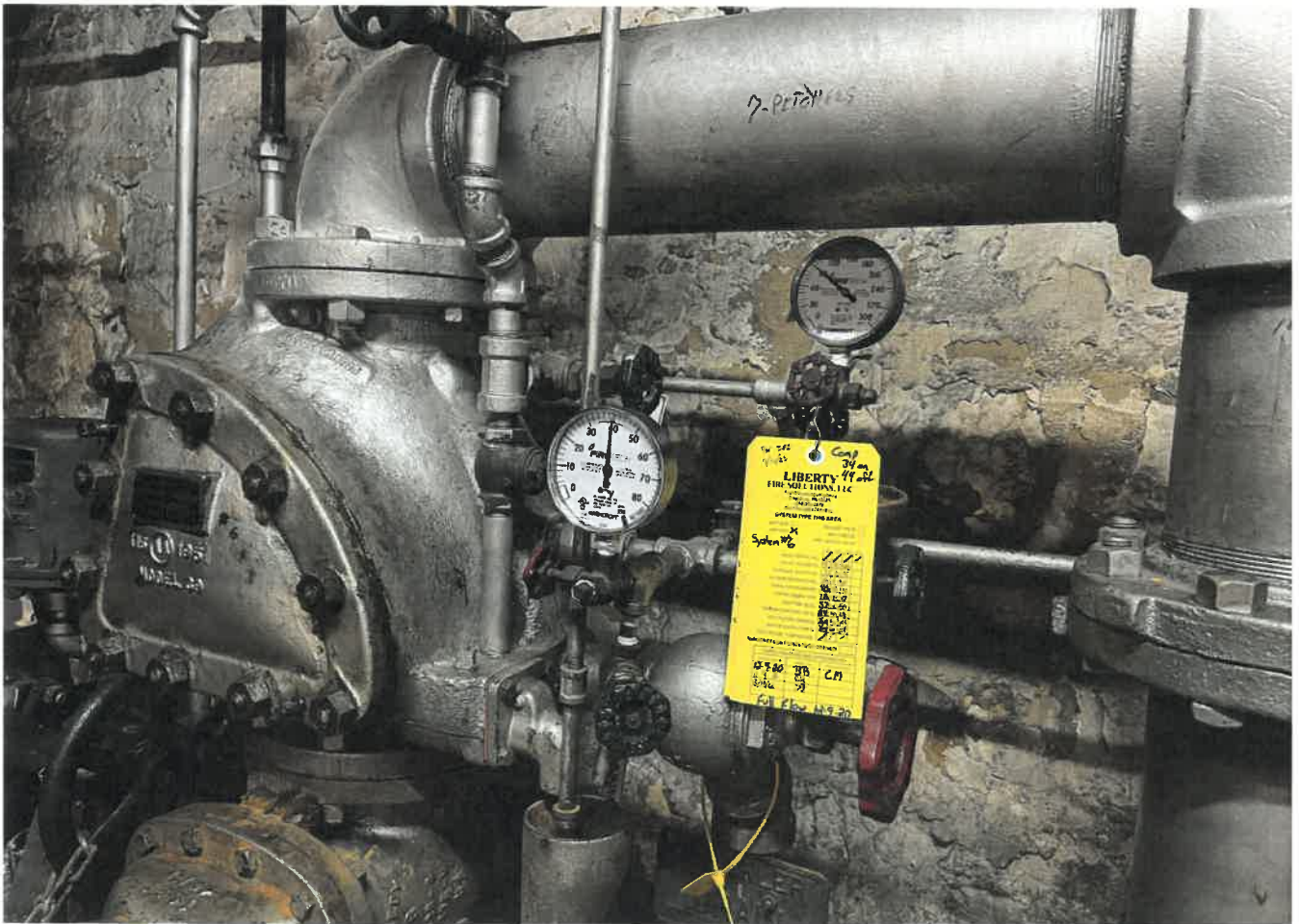
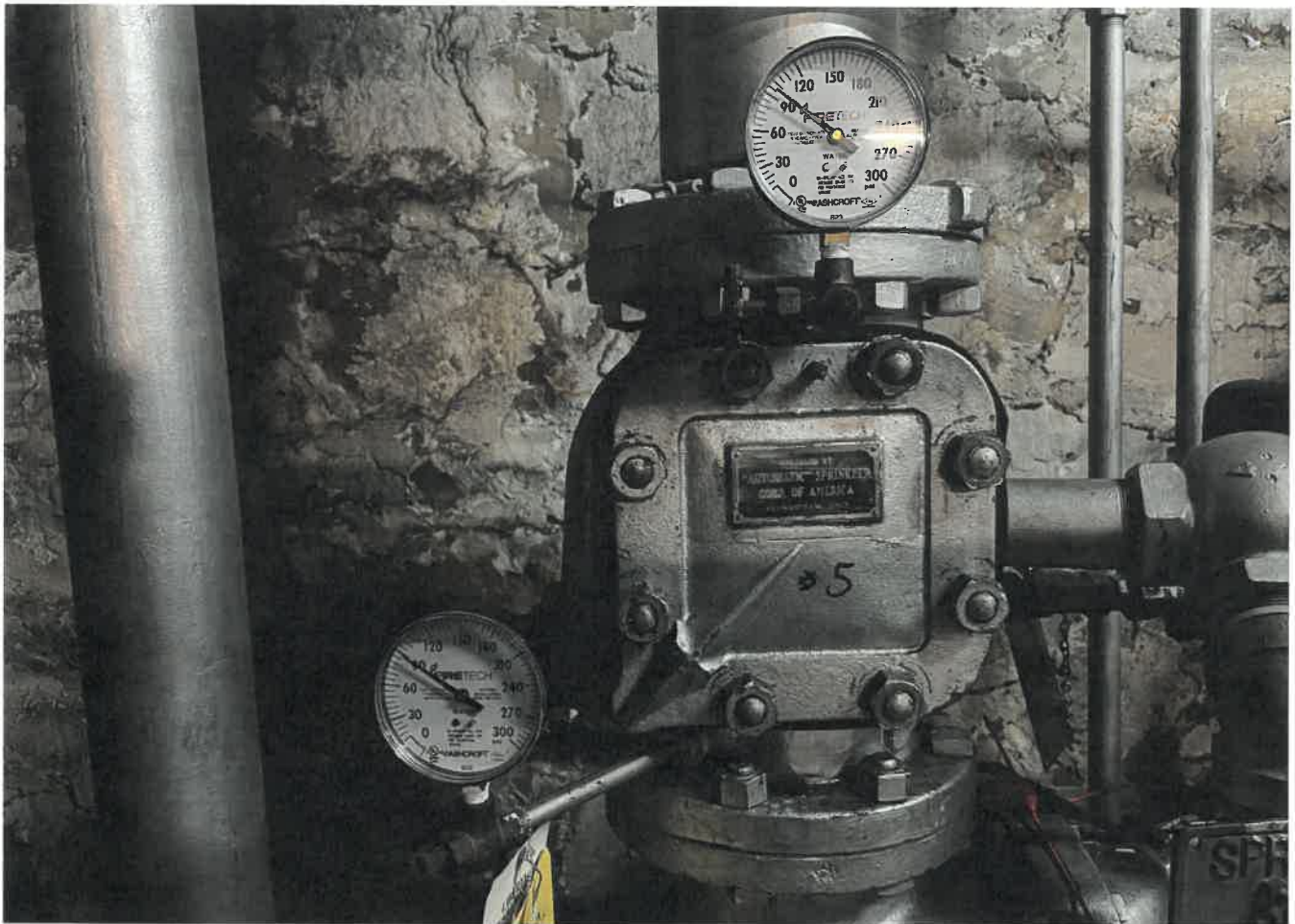


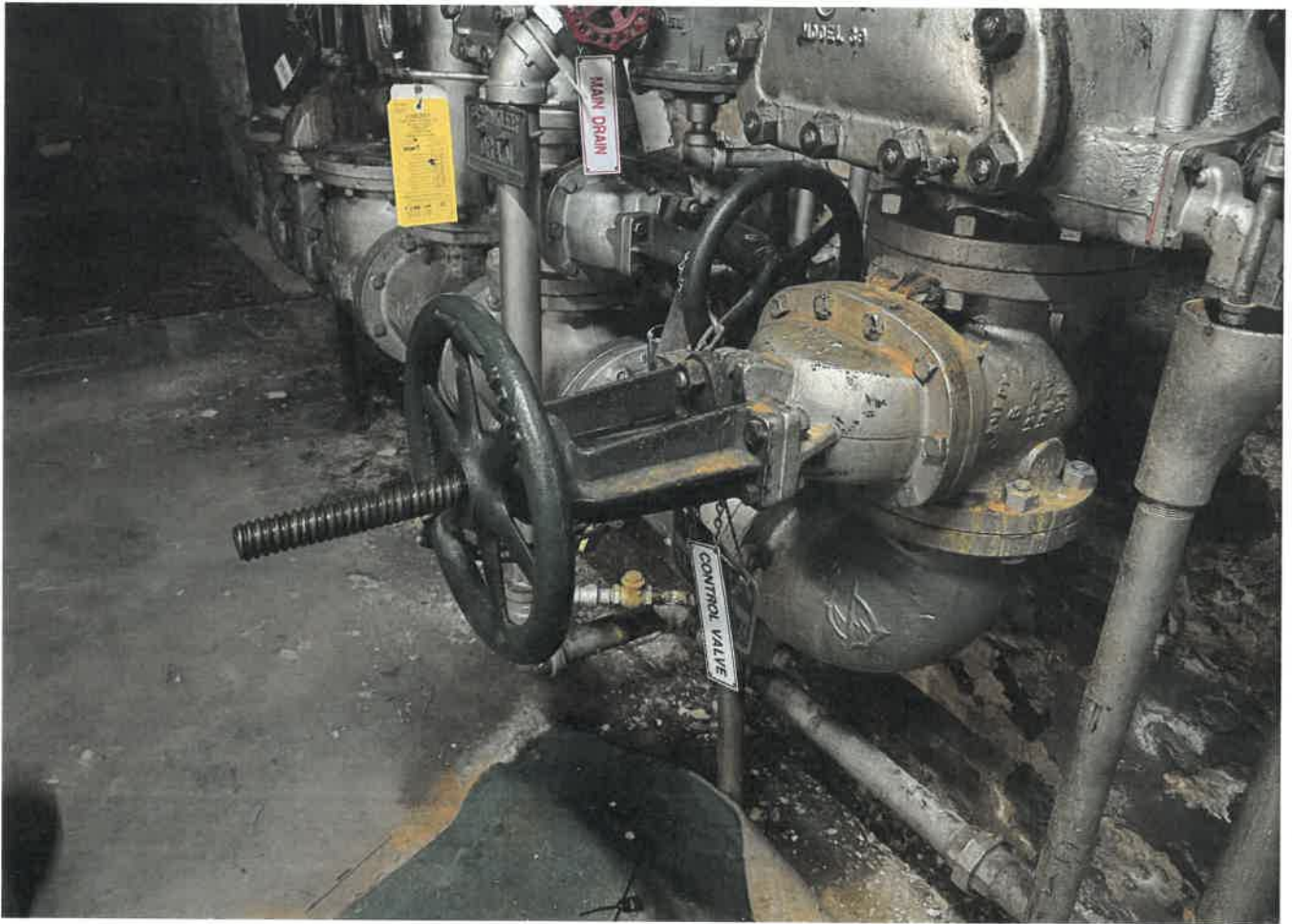














Linda Rickens &lt;lrickens@altoonapa.gov&gt;

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**Fwd: Parking Garage, 1301-11 12th Ave Altoona PA**

3 messages

**Omar Strohm** <ostrohm@altoonapa.gov>

Thu, Apr 7, 2022 at 3:30 PM

To: Ron Beatty <rbeatty@altoonapa.gov>, David Butterbaugh <dbutterbaugh@altoonapa.gov>, Joe Carper <jcarper@altoonapa.gov>, Dave Ellis <dellis@altoonapa.gov>, Jesse Ickes <jickes@altoonapa.gov>, Bruce Kelley <bkelley@altoonapa.gov>, Matt Pacifico <mpacifico@altoonapa.gov>  
Cc: Tom Finn <tfinn@wagfinn.com>, Linda Rickens <lrickens@altoonapa.gov>

Mayor and Councilmembers,

In the email below from the City's Codes and Inspections Director, the owner and the property manager of the parking garage attached to the Gable's Building are being notified of the hazardous condition of the garage and that it is ordered to be vacated due to the dilapidated and unsafe condition of the structure. I talked with the property manager about the current condition of the garage and the need to relocate those who are parking in the facility. Staff at the Parking Authority are working with the property manager to finalize a parking solution for those adversely affected by the garage shut down. At least part of this solution will be to relocate them into the parking garage adjacent to the Transportation Center, and some potentially into a nearby surface lot.

I will keep you informed regarding the ongoing status of the garage, and the final parking solution going forward. Please contact me with any questions.

- Omar

----- Forwarded message -----

From: **Rebecca Brown** <rbrown@altoonapa.gov>

Date: Thu, Apr 7, 2022 at 3:04 PM

Subject: Parking Garage, 1301-11 12th Ave Altoona PA

To: &lt;amritquickstar@gmail.com&gt;, Matt DePaolis &lt;mattde@perrywellingtonrealty.com&gt;

Cc: Scott Brown &lt;sbrown@altoonapa.gov&gt;, Omar Strohm &lt;ostrohm@altoonapa.gov&gt;

Good afternoon, Ms. Dhaliwal,

Please find attached correspondence relative to the parking garage located at 1301-11 12th Avenue, Altoona, PA.

Thank you, and please contact me if you have any questions.

Sincerely,

Rebecca Brown

**Rebecca M. Brown, BCO, Director**

City of Altoona

Department of Codes and Inspections

1301 12th Street, Suite 103

Altoona PA 16601

Phone (814) 949-2455

Fax (814) 949-2203

rbrown@altoonapa.gov

www.altoonapa.gov

 **Parking Garage 1301-11 12th Ave.pdf**  
2249K

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**Linda Rickens** <lrickens@altoonapa.gov>  
To: Kim Carrieri <kcarrieri@altoonapa.gov>

Thu, Apr 7, 2022 at 4:19 PM

[Quoted text hidden]

--  
**Linda Rickens Schellhammer, City Clerk**  
**City of Altoona**  
**Department of Administration**  
**1301 12th Street Suite 100**  
**Altoona, PA 16601**  
**www.altoonapa.gov**  
**(814) 949-2486**  
**(814) 949-2411 (fax)**

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 **Parking Garage 1301-11 12th Ave.pdf**  
2249K

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**Matt Pacifico** <mpacifico@altoonapa.gov>  
To: Linda Rickens <lrickens@altoonapa.gov>

Thu, Jun 29, 2023 at 2:10 PM

**Matt Pacifico**  
**Mayor, City of Altoona**

Office of the Mayor  
1301 Twelfth Street, Suite 101  
Altoona, PA 16601  
814.949.2476  
www.altoonapa.gov



----- Forwarded message -----

From: **Omar Strohm** <ostrohm@altoonapa.gov>

Date: Thu, Apr 7, 2022 at 3:30 PM

Subject: Fwd: Parking Garage, 1301-11 12th Ave Altoona PA

To: Ron Beatty <rbeatty@altoonapa.gov>, David Butterbaugh <dbutterbaugh@altoonapa.gov>, Joe Carper <jcarper@altoonapa.gov>, Dave Ellis <dellis@altoonapa.gov>, Jesse Ickes <jickes@altoonapa.gov>, Bruce Kelley <bkelley@altoonapa.gov>, Matt Pacifico <mpacifico@altoonapa.gov>

Cc: Tom Finn <tfinn@wagfinn.com>, Linda Rickens <lrickens@altoonapa.gov>

[Quoted text hidden]

PERSONAL & CONFIDENTIAL. The E-Mail message (Including any attachments) from this sender is for the sole use of the intended recipient(s) and may contain confidential and privileged information. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution, unauthorized review, use or disclosure of this E-Mail is prohibited. If you have received this communication in error, please immediately notify us, by contacting [TMiller@AltoonaPA.gov](mailto:TMiller@AltoonaPA.gov), returning the original message to the sender and deleting any copies from your system. Thank you

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 **Parking Garage 1301-11 12th Ave.pdf**  
2249K



Rebecca Brown &lt;rbrown@altoonapa.gov&gt;

## Catalyst Space

4 messages

Jesse Ickes <jickes@altoonapa.gov>  
To: Rebecca Brown <rbrown@altoonapa.gov>

Tue, Apr 19, 2022 at 6:00 AM

Rebecca,

Good morning. Was there a codes situation involving Catalyst Space in the Gables building? Apparently they're mowing out of Altoona and have lambasted City Council (mostly me) and codes (mostly Scott Brown).

I'd appreciate any information.

Thanks!  
Jesse

Sent from my iPhone  
Please disregard any typos

Rebecca Brown <rbrown@altoonapa.gov>  
To: Jesse Ickes <jickes@altoonapa.gov>

Tue, Apr 19, 2022 at 9:34

Good morning, Jesse,

The Altoona Fire Department conducted a fire inspection at this property in November after receiving complaints from other tenants in the building about fumes. AFD and Fire Inspector Free found several violations with the placement of the kilns and contacted us to assist. I have attached the letter that was sent to them. Also below are emails between Justin Merrell and I regarding the letter and inspection.



**Catalyst Space** <jmerrell@catalystspace.org>

Wed, Nov 10, 2021, 8:32 PM

to Stephen, council, Jason, dbk, Steve, me, Matt, Scott, Adam

It is a shame that the findings did not address the complainant's initial concern regarding fumes and an odor.

I do appreciate the time taken to send helpful information regarding the building code.

I have included our attorney to help us understand your phrasing "it was requested" and "It is recommended" I am sure he will be in touch if he has any questions.

Thank you and have a fantastic evening,

-Justin Merrell  
240-342-6671

**Rebecca Brown** <rbrown@altoonapa.gov>

Thu, Jan 13, 2:55 PM

to Justin, Matt, Scott, Adam

Mr. Merrell,

Good afternoon. Just following up on my email from November regarding the kilns at Catalyst Space. Were you able to retain a design professional to provide a tenant layout? Please advise on the status of the space.



**Catalyst Space** <jmerrell@catalystspace.org>

Tue, Jan 25, 7:25 PM

to dbk, Steve, Jason, me, Matt, Scott, Adam

We decided not to engage with anyone on this issue. As a small non-profit, our funds are limited, and in discussions with the board, we decided that it was not prudent to use funds to solve a problem in a building about which we had an increasing number of questions as to its suitability and ultimate viability, especially given the multiple changes in ownership. We have resolved to look for a new facility that is more accessible and better suited to housing the activities we wish to support. As a result, we have scaled back our operations in the Gables Building to exclude those that were a problem. The members using the kiln have made other arrangements. While this has impacted our membership and ability to expand right now, we are hopeful that we will find a better solution in a facility more suited to our members soon.

If you have any questions, please feel free to contact me,



**Rebecca Brown** <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>  
to dbk, Steve, Jason, Catalyst, Matt, Scott, Adam

Wed, Jan 26, 8:58 AM

Thank you for the information, and best of luck going forward with your search for a different facility. Please don't hesitate to reach out if you need any assistance or have questions.

Sincerely,

**Rebecca M. Brown, BCO, Director**  
City of Altoona  
Department of Codes and Inspections  
1301 12th Street, Suite 103  
Altoona PA 16601  
Phone (814) 949-2455  
Fax (814) 949-2203  
[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)  
[www.altoonapa.gov](http://www.altoonapa.gov)

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 **Catalyst Space\_rmb.pdf**  
104K

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**Rebecca Brown** <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>  
To: Omar Strohm <[ostrohm@altoonapa.gov](mailto:ostrohm@altoonapa.gov)>

Tue, Apr 19, 2022 at 9:34 AM

fyi  
[Quoted text hidden]

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 **Catalyst Space\_rmb.pdf**  
104K

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**Jesse Ickes** <[jjickes@altoonapa.gov](mailto:jjickes@altoonapa.gov)>  
To: Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>

Tue, Apr 19, 2022 at 11:21 AM

Thank you!

Jesse

Sent from my iPhone  
Please disregard any typos

On Apr 19, 2022, at 9:34 AM, Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)> wrote:

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 **Catalyst Space\_rmb.pdf**  
104K



Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>

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## Gable's Parking Garage

1 message

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Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>  
To: Omar Strohm <[ostrohm@altoonapa.gov](mailto:ostrohm@altoonapa.gov)>

Tue, May 24, 2022 at 10:56 AM

Omar,

We received a call that Pullman Company will be at the parking garage this morning to conduct a full assessment for repair and stability. I will let you know if and when I hear anything additional.

THanks,  
Rebecca

**Rebecca M. Brown, Director**  
City of Altoona  
Department of Codes and Inspections  
1301 12th Street, Suite 103  
Altoona PA 16601  
Phone (814) 949-2455  
Fax (814) 949-2203  
[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)  
[www.altoonapa.gov](http://www.altoonapa.gov)

Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>

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**Gable's Parking Garage**

3 messages

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**Rebecca Brown** <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>

Tue, May 24, 2022 at 2:25 PM

To: Omar Strohm <[ostrohm@altoonapa.gov](mailto:ostrohm@altoonapa.gov)>, Matt Pacifico <[mayor@altoonapa.gov](mailto:mayor@altoonapa.gov)>

I just met with structural engineers from Pullman SST, based out of Pittsburgh. They walked the parking garage today. To put it mildly, they said the City did the right thing by condemning. They said repairs to the garage are estimated to be at least 8 figures, and they are going to prepare an analysis to provide to the owner. It MAY be possible to repair the garage in phases, but it will be so costly that demolition may be the better option. They said even demo would be over 1 million. The owner is a realtor in the Philadelphia area. I'll keep you posted.

Rebecca

**Rebecca M. Brown, Director**

City of Altoona  
Department of Codes and Inspections  
1301 12th Street, Suite 103  
Altoona PA 16601  
Phone (814) 949-2455  
Fax (814) 949-2203  
[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)  
[www.altoonapa.gov](http://www.altoonapa.gov)

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**Matt Pacifico** <[mpacifico@altoonapa.gov](mailto:mpacifico@altoonapa.gov)>

Tue, May 24, 2022 at 2:46 PM

To: Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>

Thanks for the information Rebecca

*Matt Pacifico*  
*Mayor, City of Altoona*  
*1301 Twelfth Street, Suite 200*  
*Altoona, PA 16601*  
*814.949.2476*

On May 24, 2022, at 2:24 PM, Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)> wrote:

[Quoted text hidden]

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**Rebecca Brown** <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>

Wed, May 25, 2022 at 8:36 AM

To: Scott Brown <[sbrown@altoonapa.gov](mailto:sbrown@altoonapa.gov)>

fyi

[Quoted text hidden]



Rebecca Brown &lt;rbrown@altoonapa.gov&gt;

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**Gable's Parking Garage**

3 messages

Rebecca Brown &lt;rbrown@altoonapa.gov&gt;

Tue, Jul 19, 2022 at 3:45 PM

To: Omar Strohm &lt;ostrohm@altoonapa.gov&gt;, Matt Pacifico &lt;mayor@altoonapa.gov&gt;

Cc: Scott Brown &lt;sbrown@altoonapa.gov&gt;

Good afternoon,

The walkthrough of the parking garage was conducted today by Pullman & Associates and their structural engineer. They met with me for discussion in my office following their inspection and provided me with their preliminary findings:

- The actual garage structure (the columns and the beams) are in good condition and appear to be sound. The slabs (decking/wearing surface) pose significant issues, and these slabs will need to be replaced and/or repaired. The slabs are a fairly large job and will be costly to repair.
- All levels of the garage contain concrete that is missing and breaking/falling to the decking/wearing surface. The netting that is currently present is unacceptable as maintenance
- There are 3 entrances to the parking garage.
- The parking garage has approximately 300 spaces for parking.
- The alley entrance and the entrance on the side street are both entrances to the lower level and level 1.
- Pullman will have their repair proposal to Amrit (owner) within the next 4 weeks
- The repair proposal will contain a complete, overall repair plan, a phased repair plan (which most owners elect), and demolition of the entire structure. Phased repair plans are typical for this type of work, and the company most often completes parking garage repairs in phases. It is also the most cost effective approach to this type of repair which can be very expensive. Phased repair starts at the bottom of the structure and works upwards.
- They believe the lower and main level of the garage, containing 2 of the entrances, can be safely repaired first, in Phase 1. This repair would allow for the lower and main levels of the parking garage to re-open. Concrete barriers would be placed ahead of the ramps so traffic could not enter the upper levels, as the upper two levels would remain closed. It would be up to the owner to decide if and when to repair the upper two levels; however the City could require the owner to provide a maintenance plan for the upper two levels while they are closed (repairs, proper netting, etc.) They indicated that opening the lower 2 levels would not be dangerous or detrimental to the upper 2 levels.

Interestingly enough, I received a call from Amrit, the owner, this afternoon. She had emailed me earlier pictures of chains she installed at the entrances to prevent vehicles from parking in the garage. However, she was calling to say she had spoken to Pullman and asked if the City would be acceptable to the phased approach of repairs. She indicated that the Gables building is losing tenants and she was very hopeful the lower 2 floors of the garage could open if the repairs are made. I told her that I would discuss this possibility with the City Manager and Mayor, and that we can't make decisions until we receive Pullman's written report as well as a signed contract that she executes with Pullman.

Thanks,  
Rebecca

**Rebecca M. Brown, Director**  
City of Altoona  
Department of Codes and Inspections  
1301 12th Street, Suite 103  
Altoona PA 16601  
Phone (814) 949-2455  
Fax (814) 949-2203  
rbrown@altoonapa.gov  
www.altoonapa.gov

---

Scott Brown <sbrown@altoonapa.gov>

Tue, Jul 19, 2022 at 3:53 PM

To: Rebecca Brown &lt;rbrown@altoonapa.gov&gt;

Hi Rebecca,

Suggest ensuring they provide necessary engineers' seal and signature on the report- or it's worthless from a legal standpoint.

Scott

[Quoted text hidden]

--

Scott P Brown  
City of Altoona  
Building Inspector  
Dept of Codes & Inspections  
1301 12th Street  
Altoona, Pa. 16601  
814-949-2406  
sbrown@altoonapa.gov

---

**Rebecca Brown** <rbrown@altoonapa.gov>  
To: Ron Beatty <rbeatty@altoonapa.gov>

Wed, Jul 27, 2022 at 8:58 AM

**Here is the email. Thanks!**

[Quoted text hidden]

Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>

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**Gables**

2 messages

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**Justin Smithmyer** <[jsmithmyer@altoonapa.gov](mailto:jsmithmyer@altoonapa.gov)>  
To: Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>  
Cc: Tim Hileman <[thileman@altoonapa.gov](mailto:thileman@altoonapa.gov)>

Thu, Aug 4, 2022 at 2:34 PM

Good Afternoon,

Just wanted to give a heads up about an issue that I ran into this afternoon. Our crews responded to the old Senior Life Building at Gables last night for a fire alarm. The strobes were activated but no alarm was sounding and no call was received at the 911 center. PD noticed the strobes and called it in. No key holder was present and the alarm was not able to be reset. I checked on the property today and spoke in person with the owner Amrita Dhaliwal who stated they were notified this morning by another tenant of the alarm and were there to check on things. During our conversation, she stated that she believes it may have been some of the homeless population that has attempted to take up residency in the parking garage and the alley between 11th and 12th Avenues. She said the police have removed the individuals living there previously but they may have returned. I checked out the garage and saw large amounts of garbage in the corners in an attempt to hide it. I also found a set up in the alley with a bed frame and the dumpsters set up to provide privacy. No one was present in this area. I saw a man sitting on a loading dock further down but for safety, I did not make contact.

I am going to monitor this over the next day or two and let our Assistant Chiefs know as well so that in the event we would have a fire at this location they are aware they may be individuals inside.

If you have any questions please let me know.

Respectfully,

Justin Smithmyer  
Acting Fire Inspector  
Altoona Fire Department  
Office: 814-947-4813  
[jsmithmyer@altoonapa.gov](mailto:jsmithmyer@altoonapa.gov)

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**Rebecca Brown** <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>  
To: Justin Smithmyer <[jsmithmyer@altoonapa.gov](mailto:jsmithmyer@altoonapa.gov)>  
Cc: Tim Hileman <[thileman@altoonapa.gov](mailto:thileman@altoonapa.gov)>

Fri, Aug 5, 2022 at 10:48 AM

Thanks Justin!

**Rebecca M. Brown, Director**  
City of Altoona  
Department of Codes and Inspections  
1301 12th Street, Suite 103  
Altoona PA 16601  
Phone (814) 949-2455  
Fax (814) 949-2203  
[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)  
[www.altoonapa.gov](http://www.altoonapa.gov)

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Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>

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## Senior Life at Gables

1 message

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**Justin Smithmyer** <[jsmithmyer@altoonapa.gov](mailto:jsmithmyer@altoonapa.gov)>

Mon, Aug 22, 2022 at 9:44 AM

To: Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>, Tim Hileman <[thileman@altoonapa.gov](mailto:thileman@altoonapa.gov)>, Adam Free <[afree@altoonapa.gov](mailto:afree@altoonapa.gov)>, Scott Brown <[sbrown@altoonapa.gov](mailto:sbrown@altoonapa.gov)>

Good Morning,

I have attached a copy of the notice that I sent to the owners of Gables. This notice was mailed on Friday.

If you have any questions please let me know.

Respectfully,

Justin Smithmyer  
Acting Fire Inspector  
Altoona Fire Department  
Office: 814-947-4813  
[jsmithmyer@altoonapa.gov](mailto:jsmithmyer@altoonapa.gov)

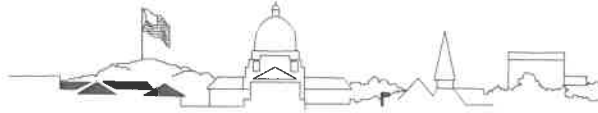


**8-17-22 Initial Enforcement Letter.pdf**

93K

# CITY OF ALTOONA

FIRE ADMINISTRATION  
1319 WASHINGTON AVE.  
ALTOONA, PA. 16601-3139  
TEL. (814) 949-2230  
FAX: (814) 949-2245



## ALTOONA FIRE DEPARTMENT

JUSTIN SMITHMYER  
ACTING FIRE INSPECTOR  
1319 WASHINGTON AVE  
ALTOONA, PA 16601  
TEL. (814) 947-4813

DSD INVESTORS LLC  
8102 WEST CHESTER PIKE  
UPPER DARBY PA 19082

### INITIAL NOTIFICATION

August 19, 2022

Dear Responsible Party,

On April 4, 2022, City Ordinance #5788 adopted the 2018 International Fire Code, as the Fire Prevention Code for the City of Altoona. The Altoona Fire Department enforces this code to ensure the life safety of the residents and visitors of the City of Altoona.

On August 4, 2022, at 128 AM the Altoona Fire Department responded to your facility located at 1311 12<sup>th</sup> Avenue in the City of Altoona for a Commercial Fire Alarm. The alarm was called in by a passing police officer who noticed the strobes blinking inside the building. Our fire crews responded and gained access using the Knox Box keys on the building (the Assistant Chief on Duty noted that the door to this facility seemed as if it could be opened if pulled hard enough). Inside, the fire crews found no fire issues but did find that fire extinguishers were dispensed and food was thrown about the floor. They also noted that the alarm system was noting a trouble notification. At the time of this response, no contact information was on record for this property.

On August 5, 2022, I spoke in person with two individuals who claimed to be the building owners. These individuals stated that the facility would be secured, and did state that they did have an issue with homeless individuals in the parking garage and the building. A contact number was provided by these individuals.

On August 16, 2022, I conducted a follow-up to ensure that the fire alarm was stopped and that the doors had been properly secured to prohibit unwanted access to the facility. At this time I found a broken window on the main door to this facility, located in the parking garage. Through this window, someone could access the door hardware and gain access to the building. The police department was notified and a search of the facility was conducted to ensure no unauthorized personnel were inside the facility. After it was ensured that the facility was clear of people, the Altoona Fire Department secured the door by covering the window with plywood. Every effort was made to keep from damaging the door further. The contact number provided by the "owners" was not an effective number when called during this incident.

The police department also conducted a sweep of the parking garage and general area and found several locations where homeless individuals had set up a residence. The large garage door in the alleyway, nearest the parking garage, was also found unsecured.



This letter serves as notification of several Fire Code violations at your property located at 1311 12<sup>th</sup> Avenue Altoona, PA 16601. Those violations are as follows:

**304.1.1 Waste material.** Accumulations of wastepaper, wood, hay, straw, weeds, litter or combustible or flammable waste or rubbish of any type shall not be permitted to remain on a roof or in any *court*, yard, vacant lot, alley, parking lot, open space, or beneath a grandstand, *bleacher*, pier, wharf, manufactured home, recreational vehicle or other similar structure.

Any and all collections of trash/debris in the parking structure must be removed to minimize a potential fire in this location. This is extremely important as this facility is already marked as an unsafe structure. A fire within this structure could endanger not only anyone inside or on the parking structure but also the firefighting responding the emergency.

**311.2 Safeguarding vacant premises.** Temporarily unoccupied buildings, structures, premises or portions thereof shall be secured and protected in accordance with Sections 311.2.1 through 311.2.3.

**311.2.1 Security.** Exterior and interior openings open to other tenants or unauthorized persons shall be boarded, locked, blocked or otherwise protected to prevent entry by unauthorized individuals. The *fire code official* is authorized to placard, post signs, erect barrier tape or take similar measures as necessary to secure public safety.

The door that was used to gain access to the property was temporarily secured by the Altoona Fire Department. This door must be properly secured by you the Responsible Party.

The large garage door in the alley nearest the parking garage structure must be secured to prevent access. Currently, this door is easily opened by lifting the door, allowing access into the lower portions of your building.

**311.2.2 Fire protection.** Fire alarm, sprinkler and standpipe systems shall be maintained in an operable condition at all times.

The fire alarm system in this facility must be maintained due to the mixed occupancy of the facility. Currently, the alarm system stated that there is a Trouble notification and that it is missing batteries.

**901.6 Inspection, testing, and maintenance.** Fire detection and alarm systems, emergency alarm systems, gas detection systems, fire-extinguishing systems, mechanical smoke exhaust systems, and smoke and heat vents shall be maintained in an operative condition at all times, and shall be replaced or repaired where defective. Nonrequired *fire protection systems* and equipment shall be inspected, tested, and maintained or removed.

An inspection of the system is required to ensure that the smoke/fire detection system is operating as designed. This inspection must be completed by a qualified technician and must be done in accordance with NFPA 72. After the inspection of the system, a report must be furnished by the company performing the inspection which states the name of the company performing the inspection, the date of the inspection, what was inspected/repared, and whether the system passed or failed in accordance with NFPA 72.

Although this facility is currently not occupied, this facility's occupancy type has not changed, therefore all fire protection systems (smoke/fire detection systems, sprinkler systems, etc.) must be maintained in proper operating condition at all times.

This facility is not permitted to have any persons living within the structure as it is not designed for residency nor does it meet Fire Code requirements for a commercial residential structure. This means that any person leasing property at this facility or otherwise may not reside anywhere on the property. Please ensure that the property is properly secured to prevent any persons from residing in/on this property. This is important because if an emergency or fire occurs at your facility, the responding firefighters may be unaware if someone may be residing somewhere in the facility.

These violations must be corrected by September 21, 2022, at 130 PM. If any corrections cannot be completed by this date a written agreement between you the responsible party and a vendor performing services must be provided in writing to the Fire Inspector's Office by the above date.

It is the goal of the Altoona Fire Department to achieve voluntary compliance. If additional time is needed to correct violations you must contact the Fire Inspection office for approval. Should the violations remain uncorrected further enforcement could be taken including a summary citation issued at the Magisterial District Judge. Thank you for your cooperation in this matter. If you have any questions, please call the inspection office at 814-947-4813.

Respectfully,



Justin Smithmyer  
Acting Fire Inspector  
City of Altoona

**Appeals Procedure:** You have the right to appeal this Notice of Violation within ten (10) days of receipt of this notice. Appeals must be made by application to the City of Altoona Codes Appeals Board and accompany the application fee of \$300.00. Applications may be obtained on the City of Altoona website at [www.altoonapa.gov](http://www.altoonapa.gov) or the Department of Codes & Inspections located at 1301 12<sup>th</sup> Street Suite 103, Altoona, PA 16601.



Rebecca Brown &lt;rbrown@altoonapa.gov&gt;

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**Parking Garage - Gables**

2 messages

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**Rebecca Brown** <rbrown@altoonapa.gov>  
To: kstauffer@pullman-services.com

Tue, Sep 27, 2022 at 2:46 PM

Good afternoon, Kurt,

Just following up from your voicemail. Any updates you can provide for the Gable's parking garage would be greatly appreciated!

Thanks,  
Rebecca

**Rebecca M. Brown, Director**  
City of Altoona

A handwritten signature in blue ink, appearing to read "Rebecca M. Brown".

Department of Codes and Inspections  
1301 12th Street, Suite 103  
Altoona PA 16601  
Phone (814) 949-2455  
Fax (814) 949-2203  
rbrown@altoonapa.gov  
www.altoonapa.gov

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**Rebecca Brown** <rbrown@altoonapa.gov>  
To: kstauffer@pullman-services.com

Thu, Oct 6, 2022 at 10:31 AM

Good morning. Thank you for providing the report. I have spoken with the City Manager, who is asking if they've signed a contract to begin the repairs, and if so when the repairs will be started? Also, what option have they chosen?

Thanks

[Quoted text hidden]

[Quoted text hidden]



Rebecca Brown &lt;rbrown@altoonapa.gov&gt;

---

**Gable's Parking Garage**

2 messages

---

**Rebecca Brown** <rbrown@altoonapa.gov>

Wed, Sep 28, 2022 at 8:44 AM

To: Omar Strohm &lt;ostrohm@altoonapa.gov&gt;, Matt Pacifico &lt;mayor@altoonapa.gov&gt;

Cc: Scott Brown &lt;sbrown@altoonapa.gov&gt;

Good morning,

Yesterday I received a call from Kurt from Pullman, who provided a brief update on the situation with the garage. He stated that Amrit, the majority owner of the ownership group and our contact, had the rest of the ownership group buy her out and she's no longer with the group. His company suspects she had no funding or desire to contribute to the repairs of the structure. The remaining owners are based in California and have been in contact with Pullman, and are on board with the current plan (which will be submitted to us shortly) to repair the garage from the ground up and most likely allow for a phased re-opening. Hopefully we will be hearing something shortly and receive the plan soon. I'll keep you posted.

Thanks,  
Rebecca**Rebecca M. Brown, Director**

City of Altoona



Department of Codes and Inspections

1301 12th Street, Suite 103

Altoona PA 16601

Phone (814) 949-2455

Fax (814) 949-2203

rbrown@altoonapa.gov

www.altoonapa.gov

---

**Scott Brown** <sbrown@altoonapa.gov>

Wed, Sep 28, 2022 at 9:16 AM

To: Rebecca Brown &lt;rbrown@altoonapa.gov&gt;

Cc: Omar Strohm &lt;ostrohm@altoonapa.gov&gt;, Matt Pacifico &lt;mayor@altoonapa.gov&gt;

Thanks for the update.

[Quoted text hidden]

[Quoted text hidden]

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--  
Scott P Brown  
City of Altoona  
Building Inspector  
Dept of Codes & Inspections  
1301 12th Street  
Altoona, Pa. 16601  
814-949-2406

[sbrown@altonapa.gov](mailto:sbrown@altonapa.gov)

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Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>

---

**Gable's Parking Garage - Report**

6 messages

Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>

Tue, Oct 4, 2022 at 4:10 PM

To: Omar Strohm <[ostrohm@altoonapa.gov](mailto:ostrohm@altoonapa.gov)>, Matt Pacifico <[mayor@altoonapa.gov](mailto:mayor@altoonapa.gov)>Cc: Scott Brown <[sbrown@altoonapa.gov](mailto:sbrown@altoonapa.gov)>

Please find attached the Conditions Appraisal Report for the Gable's Parking Garage that was submitted to me today by Pullman.

Thank you,  
Rebecca

**Rebecca M. Brown, Director**

City of Altoona

A handwritten signature in blue ink, appearing to read "Rebecca M. Brown".

Department of Codes and Inspections

1301 12th Street, Suite 103

Altoona PA 16601

Phone (814) 949-2455

Fax (814) 949-2203

[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)[www.altoonapa.gov](http://www.altoonapa.gov)**Gable's Parking Garage Report.pdf**

1561K

Matt Pacifico <[mpacifico@altoonapa.gov](mailto:mpacifico@altoonapa.gov)>

Tue, Oct 4, 2022 at 7:36 PM

To: Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>Cc: Omar Strohm <[ostrohm@altoonapa.gov](mailto:ostrohm@altoonapa.gov)>, Matt Pacifico <[mayor@altoonapa.gov](mailto:mayor@altoonapa.gov)>, Scott Brown<[sbrown@altoonapa.gov](mailto:sbrown@altoonapa.gov)>

Thank you. Have the owners indicated which direction they're going to go yet?

**Matt Pacifico***Mayor, City of Altoona*

1301 Twelfth Street, Suite 200

Altoona, PA 16601

814.949.2476

On Oct 4, 2022, at 4:09 PM, Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)> wrote:

[Quoted text hidden]

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 **Gable's Parking Garage Report.pdf**  
1561K

---

Rebecca Brown <rbrown@altoonapa.gov>

Tue, Oct 4, 2022 at 9:29 PM

To: Matt Pacifico <mpacifico@altoonapa.gov>

Cc: Omar Strohm <ostrohm@altoonapa.gov>, Matt Pacifico <mayor@altoonapa.gov>, Scott Brown

<sbrown@altoonapa.gov>

Pullman stated the owners want to start repairs from the ground up to get reopened. I'll be talking with Kirk from Pullman tomorrow and let you know more info.

Sent from my iPhone

On Oct 4, 2022, at 7:36 PM, Matt Pacifico <mpacifico@altoonapa.gov> wrote:

Thank you. Have the owners indicated which direction they're going to go yet?

[Quoted text hidden]

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 **Gable's Parking Garage Report.pdf**  
1561K

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Matt Pacifico <mpacifico@altoonapa.gov>

Wed, Oct 5, 2022 at 6:55 AM

To: Rebecca Brown <rbrown@altoonapa.gov>

Cc: Omar Strohm <ostrohm@altoonapa.gov>, Matt Pacifico <mayor@altoonapa.gov>, Scott Brown

<sbrown@altoonapa.gov>

Awesome news, thank you!

*Matt Pacifico  
Mayor, City of Altoona  
1301 Twelfth Street, Suite 200  
Altoona, PA 16601  
814.949.2476*

On Oct 4, 2022, at 9:29 PM, Rebecca Brown <rbrown@altoonapa.gov> wrote:

Pullman stated the owners want to start repairs from the ground up to get reopened. I'll be talking with Kirk from Pullman tomorrow and let you know more info.

[Quoted text hidden]

[Quoted text hidden]



**Gable's Parking Garage Report.pdf**  
1561K

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**Rebecca Brown** <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>

Mon, Oct 17, 2022 at 3:08 PM

To: Matt Pacifico <[mpacifico@altoonapa.gov](mailto:mpacifico@altoonapa.gov)>

Cc: Omar Strohm <[ostrohm@altoonapa.gov](mailto:ostrohm@altoonapa.gov)>, Matt Pacifico <[mayer@altoonapa.gov](mailto:mayer@altoonapa.gov)>, Scott Brown <[sbrown@altoonapa.gov](mailto:sbrown@altoonapa.gov)>

Good afternoon,

I just received a phone call from Eric Shudy, engineer with Pullman. He wanted to let us know about the ownership group change, and that a lady from California now seems to be the contact person. Also, they are being represented locally by Amy Hite, a realtor from Hollidaysburg.

Pullman's engineers were on site again today re-assessing the top 2 decks, and stated the top 2 are in extremely bad shape. They are providing the ownership group with 2 options: one will include removing the top 2 decks altogether and renovating the bottom and street-level decks only, which will allow for 94 spots to remain; this option will amount to around 3 million. Another option will be to renovate the entire structure, which would amount to 10-12 million. Finance-wise, he's figuring it would take 50 years to recoup their investment if they chose to renovate the entire garage and he's unsure what their position is financially. He is having another meeting with them in a week and will present these options, but he indicated he will also need to get a sense of their budget to move forward. He'll contact me after he meets with them.

Thanks,

[Quoted text hidden]

[Quoted text hidden]

---

**Matt Pacifico** <[mpacifico@altoonapa.gov](mailto:mpacifico@altoonapa.gov)>

Mon, Oct 17, 2022 at 3:20 PM

To: Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>

Thank you for the update!

*Matt Pacifico*  
Mayor, City of Altoona  
1301 Twelfth Street, Suite 200  
Altoona, PA 16601  
814.949.2476

On Oct 17, 2022, at 3:07 PM, Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)> wrote:

[Quoted text hidden]

[Quoted text hidden]



## **Gables Parking Garage | Altoona, PA Condition Appraisal Report 2022**

**Submitted on October 4, 2022 to:**

DSD Investors LLC  
Ravneet Shergill  
8102 West Chester Pike  
Upper Darby, PA 19082



October 4, 2022

DSD Investors LLC  
Ravneet Shergill  
8102 West Chester Pike  
Upper Darby, PA 19082

RE: **Condition Appraisal Report 2022**  
Gables Parking Garage | Altoona, PA

Thank you for the opportunity to work with you and your team on this important project. Enclosed, you will find the Condition Appraisal Report as prepared by the Pullman Team of Pullman and Walker Consultants. In this report our team provides an executive summary, objectives of the study including facility description and background information, conclusions and recommendations, discussion information, limitations, and related appendices.

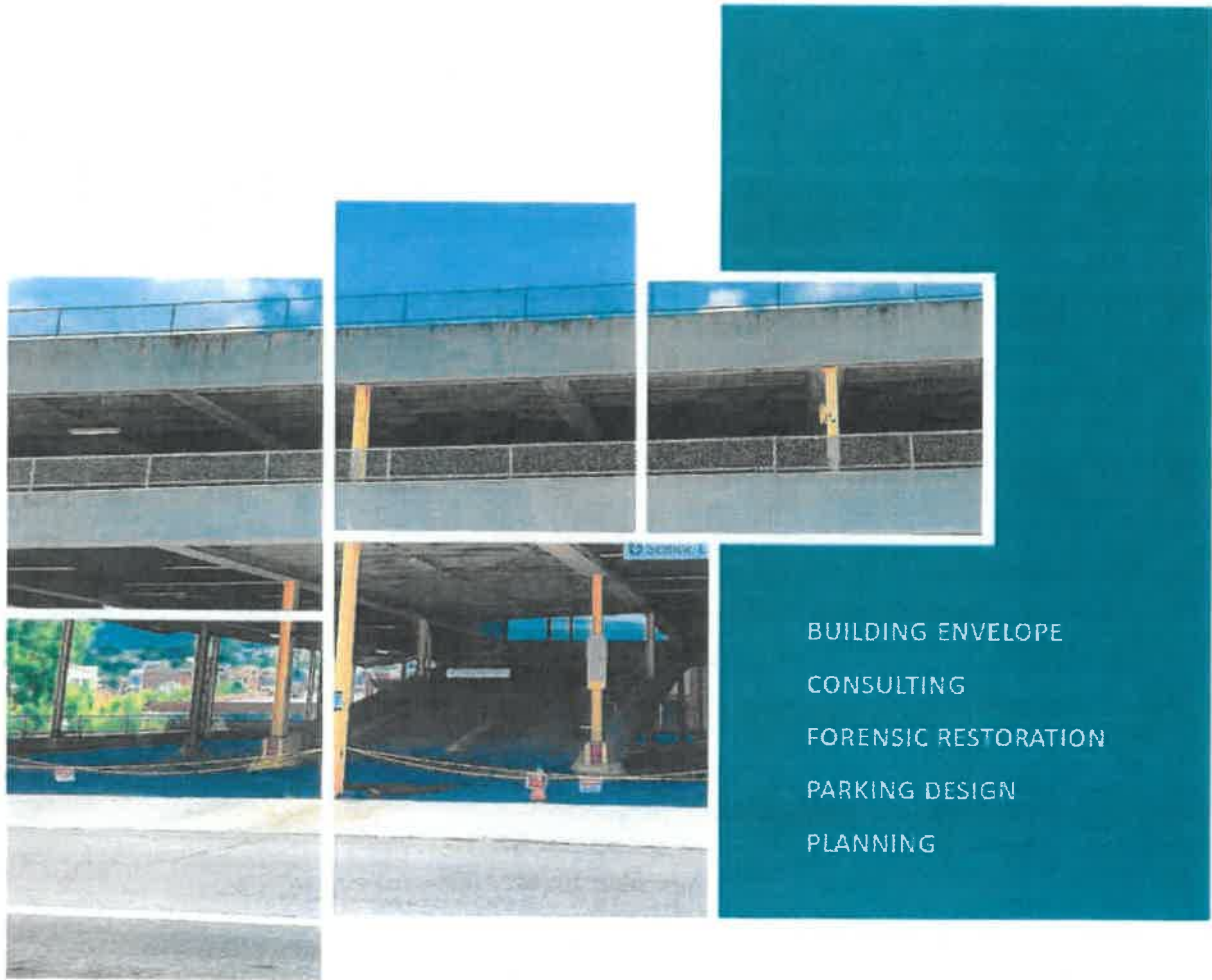
Please note: Appendix C, which contains the opinion of probable costs is still under development, and not included in the report at this time. The cost opinion will be provided separately once it has been completed.

After your review of the report, we would be happy to discuss in detail our findings and answer any questions your team may have at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark A. Bott". The signature is fluid and cursive.

Mark A. Bott  
Branch Director  
PULLMAN



BUILDING ENVELOPE  
CONSULTING  
FORENSIC RESTORATION  
PARKING DESIGN  
PLANNING

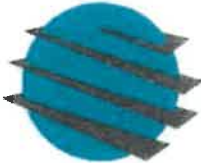
**FORENSIC RESTORATION**

# **GABLES PARKING GARAGE**

1311 12<sup>th</sup> Ave.  
Altoona, PA 16601

September 30, 2022

Walker Project No. 20-002383.00



**WALKER**  
CONSULTANTS

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**EXECUTIVE SUMMARY**

Walker Consultants (Walker) and Pullman Services (Pullman) performed a condition appraisal of the Gables Parking Garage at 1311 12<sup>th</sup> Avenue in Altoona, PA 16601 to evaluate the existence and nature of distress within the structure and develop a plan for repairs. Prior to the involvement of Walker and Pullman, the City of Altoona Department of Codes and Inspections has deemed the structure an 'unsafe building, structure or equipment' in accordance with PA Uniform Construction Code and was ordered to be 'vacated' on April 07, 2022.

Constructed in the 1950s and likely expanded vertically at a later date, the parking garage is in poor to very poor structural condition. **The required structural concrete and waterproofing repairs observed on-site and outlined within this report, although widespread and numerous, are common and standard for parking structures of this construction and age and fall under the maintenance category. Based on the existing conditions, if the repair/restoration program outlined within this report is implemented, each level will be restored to approximately to its original condition and may be reopened in a phased approach. All recommended repairs outlined in this document shall be considered immediate and shall be implemented in order to reopen the parking structure.**

We observed the following key concerns within the garage:

1. Vast and widescale concrete slab-joint deterioration requiring complete level full depth slab-joint replacement. Along with widespread loose overhead concrete.
2. Failure and lack of adequate waterproofing
3. Need to upgrade perimeter vehicle restraint
4. Storm drain and piping deterioration
5. Slab-on-ground (SOG) deterioration

To return the parking garage approximately to its original condition will require substantial and major structural and waterproofing repairs. Based on our observations of existing construction, we outline two repair options:

1. Repair Option 1: Reopens Levels 1 & 2
2. Repair Option 2: Reopens Levels 1, 2, & 3

Each option extends the service lifetime of each level by 20+ years. Considering the vast deterioration, a stopgap option is not feasible. After Repair Option 1 or 2 is implement, Walker recommends further review of the upper levels to determine the appropriate repair methodology.


Please find our cost opinion in Appendix C. Due to the unusual dynamic swaying of the cost of materials and cascading material/labor shortages in the current market due to the pandemic and the war in Europe, this cost opinion may widely vary over both the short term and long term. Please see the attached discussion for a detailed report of our investigation.



---

Jared R. Wright, PE, PhD  
Restoration Consultant

September 30, 2022



---

Rick Klein, PE  
Vice President

September 30, 2022



# 01 Introduction

## INTRODUCTION

Walker Consultants (Walker) and Pullman Services (Pullman) performed a condition appraisal of the Gables Parking Garage at 1311 12<sup>th</sup> Avenue in Altoona, PA 16601. The enclosed report summarizes repair and maintenance recommendations to address existing conditions. This report is based on existing conditions observed during our field survey on July 19<sup>th</sup>, 2022. Objectives for the condition appraisal and background information about the facility are summarized below.

### OBJECTIVES

The objectives of this condition appraisal report are as follows:


- Review available documentation provided by the client (no original documentation was provided by client).
- Conduct a field examination of the physical condition of the parking structure including:
  - Review supported concrete pans, joists, concrete beams, steel columns, and stair tower concrete through visual observations to aid in establishing type and extent of typical deterioration such as: concrete spalling, cracking, leaching, leaking, steel corrosion, and similar deterioration of the structural portions of the facility.
  - Perform a limited impact acoustics (via chain drag) delamination survey of representative structurally supported floor areas to detect subsurface deterioration which may not yet be visible, and to determine the general range of delamination patterns and quantities.
  - Review accessible structural elements within the occupied space under the southern section of the garage.
- Perform a visual examination of the non-structural systems including:
  - Exterior concrete and façade members.
  - Handrails, guardrails, stair elements, and other architectural features directly associated with the parking structure for visible deterioration which need repair recommendations.
  - General condition of the parking structure drainage system and other mechanical and plumbing systems.
  - General condition of the parking structure lighting system and visible electrical elements.
  - General condition of the slab-on-ground (SOG) concrete.
- Note: Review of the existing elevator or other mechanical/electrical/plumbing equipment located in the parking structure or building that provide service for the adjacent building are not included in our scope of work. Also, outside the scope of this report is a structural review of the building, review of ADA requirements, and commentary on the need for parking equipment at the entry and exit of the parking garage.
- Compile and review acquired field data to identify the probable contributing factors for observed conditions.
- Recommend necessary corrective measures and conceptual repairs to begin the reopening on the garage.
- Provide a written report summarizing findings.

## **FACILITY DESCRIPTION AND BACKGROUND INFORMATION**

The Gables Parking Garage was originally constructed circa 1950s. A search of prior newspaper articles suggest the top level was added at a later date. The structure provides parking for the adjacent buildings. The current parking structure consists of five (5) different levels. The footprint of the parking garage is ~202' x 119'; however, the parking footprint varies by level. The top two levels (Levels 4 and 5) span the entire footprint, are dedicated solely to parking, and each contain approximately 24,000 SF for parking. Level 3 spans the entire footprint but is half (or approximately 12,000 SF) dedicated to parking while the other half is occupied space. Level 2 spans approximately half (<12,000 SF) of the footprint while Level 1 spans approximately 25% (6000 SF) of the footprint. The total parking garage footprint is approximately 78,000 SF. The structural system consists of a combination of cast-in-place concrete pan-joists and precast concrete hollow core plank resting on cast-in-place concrete girders and structural steel columns sending the load to the foundation. Cast-in-place concrete beams span the perimeter. Level 2 is half structurally supported and half concrete slab-on-ground (SOG) while Level 1 is completely concrete SOG. Vehicles enter and exit the structure at three locations: 1) off 12 Avenue into Level 3 with access to Levels 4 and 5 via the internal ramp, 2) off 13<sup>th</sup> Street into Level 2 with no access to other levels, and 3) off the back alley with no access to other levels. Therefore, Levels 1 and 2 act as independent parking levels. Levels 3, 4 and 5 have door access into the adjacent building. One stair tower is located between Levels 2 and 3. There is no stair tower access to Level 1. The structure contains approximately 243 parking spaces (~321 SF/space) broken down as follows: Level 1 – 21 spaces; Level 2 – 38 spaces, Level 3 – 32 spaces; Level 4 – 76 spaces, and Level 5 – 76 spaces (note: these are approximate because line striping is not present at multiple locations).

Prior to the involvement of Walker and Pullman, widespread concrete degradation was observed throughout the structure. Due to this degradation, the City of Altoona Department of Codes and Inspections deemed the structure an 'unsafe building, structure or equipment' in accordance with PA Uniform Construction Code and ordered the structure to be 'vacated' on April 07, 2022 (please see Appendix B for City of Altoona letter). Walker and Pullman were subsequently approached by the client to perform an assessment of the garage to develop a reopening methodology.





## 02 Conclusions and Recommendations

## CONCLUSIONS AND RECOMMENDATIONS

Below, please find our conclusions and recommendations based on our visual observations.

### CONCLUSIONS

The structure is generally in poor to very poor condition based on the construction, age, and geographical location. Isolated prior repairs have been performed within the structure but many are failing and it appears the structure has not previously undergone a comprehensive structural restoration and waterproofing program. Therefore, the structure requires numerous and widespread structural concrete and waterproofing repairs to approximately restore the structure to its original construction prior to reopening the structure. **The required structural concrete and waterproofing repairs observed on-site and outlined within this report, although widespread and numerous, are common and standard for parking structures of this construction and age and fall under the maintenance category. Based on the existing conditions, if the repair/restoration program outlined within this report is implemented, each level will be restored to its original condition and may be reopened in a phased approach.**

### IMMEDIATE REPAIRS

The parking structure is currently vacated by writ of the City of Altoona. **All recommended repairs outlined in this document shall be considered immediate and shall be implemented in order to reopen the parking structure.**

The recommended reopening repair regimen outlined within is a 20+ year life extension program which will focus primarily on the following:

- Full depth repair of structural framing
- Widespread waterproofing
- Upgrade perimeter vehicle restraint
- Storm drain and piping repairs in the garage area
- Slab-on-ground (SOG) repairs

Across the structure, the top side and underside of the concrete pan-joint system is in such poor condition our recommended concrete structural repairs for each level consist primarily of complete full depth removal and replacement of the concrete pan-joint system in kind. Considering the size/layout of the structure and the amount of repairs required to reopen the entire structure, we recommend a phased repair approach focusing on restoring each level to its original condition in order to facilitate opening each level successively. This repair approach starts at the ground level (Level 1) and works upwards. Starting at the bottom level, although not ideal for this structure, is important to ensure the bottom levels are structurally sound for shoring during repairs.

This report is focused of reopening Levels 1, 2 and eventually 3. Not included in this report is an approach to open Levels 4 & 5 which may potentially require more invasive repairs considering Level 4 is above occupied space. Efforts to reopen Levels 4 & 5 may be undertaken once Levels 1, 2, and 3 are reopened.

Below, we outline two recommended immediate reopening options. Option 1 reopens Level 1 & 2 (59 spaces) by restoring them to their original condition. Option 2 reopens Levels 1, 2, & 3 (91 spaces) by restoring them to their

original condition. Each option will require knocking down the loose concrete of next level above (underside of Level 3 for Option 1 and underside of Level 4 for Option 2) and erecting removable netting. Also, spot structural repairs to all levels above the highest reopened level is required to ensure each shuttered level can sustain its own dead load. Each shuttered level will need to be reviewed at least every 6-months and repairs performed in kind to ensure it can sustain its dead load.

Find reopening options below:

#### REOPENING OPTION 1: REOPEN LEVELS 1 & 2 (2022)

##### *STRUCTURAL ITEMS:*

- Knockdown all loose overhead concrete across Level 3
- Full Depth Pan-Joist replacement across Level 2
- Repair cast-in-place concrete girders and walls.
- Install Supplemental Vehicle Restraint on Level 2
- Repair column encasements on Level 1
- Repair Façade
- Clean and Paint Structural Steel
- Structural Steel Allowance
- Remove and Replace Concrete Slab-on-ground (SOG)
- Spot concrete structural repairs to Levels 3, 4, & 5
- Ensure lateral bracing and shoring erected during repairs
- No repair to ramp. Place concrete vehicle barriers on the Level 3 ramp to prevent vehicle and pedestrian traffic.
- Quantity Allowance

##### *WATERPROOFING ITEMS:*

- Apply new waterproof traffic topping on newly replaced concrete slab on Level 2
- Apply new cove sealant along perimeter of Levels 1 & 2
- Quantity Allowance

##### *MECHANICAL/ELECTRICAL/PLUMBING*

- Install new supplementary floor drains and piping in larger ponding areas.
- Replace deteriorated existing floor drains and piping.
- Clean and flush drains once a year and make necessary repairs to the drainage system.
- Remove and replace lighting system at concrete repairs
- Quantity Allowance

##### *MISCELLANEOUS ITEMS:*

- Erect Removable soffit cover under level 3
- Paint curbs and traffic markings.
- Wash down entire parking deck once a year.
- Quantity Allowance

##### *STAIR TOWER ITEMS:*

- Remove and Replace Stairs with new Galvanized stairs
- Remove and Replace Stair Tower

- Quantity Allowance

REOPENING OPTION 2: REOPEN LEVELS 1, 2, & 3 (2022)

*STRUCTURAL ITEMS:*

- Knockdown all loose overhead concrete across Level 4
- Full Depth Pan-Joist replacement across Levels 2 & 3
- Repair cast-in-place concrete girders and walls.
- Install Supplemental Vehicle Restraint on Levels 2 & 3
- Repair column encasements on Level 1
- Repair Façade
- Clean and Paint Structural Steel
- Structural Steel Allowance
- Remove and Replace Concrete Slab-on-ground (SOG)
- Spot concrete structural repairs to Levels 4 & 5
- Ensure lateral bracing and shoring erected during repairs
- No repair to ramp. Place concrete vehicle barriers on the Level 3 ramp to prevent vehicle and pedestrian traffic.
- Quantity Allowance

*WATERPROOFING ITEMS:*

- Apply new waterproof traffic topping on newly replaced concrete slab on Levels 2 & 3
- Apply new cove sealant along perimeter of Levels 1, 2, & 3
- Quantity Allowance

*MECHANICAL/ELECTRICAL/PLUMBING*

- Install new supplementary floor drains and piping in larger ponding areas.
- Replace deteriorated existing floor drains and piping.
- Clean and flush drains once a year and make necessary repairs to the drainage system.
- Remove and replace lighting system at concrete repairs
- Quantity Allowance

*MISCELLANEOUS ITEMS:*

- Erect Removable soffit cover under level 4
- Paint curbs and traffic markings.
- Wash down entire parking deck once a year.
- Quantity Allowance

*STAIR TOWER ITEMS:*

- Remove and Replace Stairs with new Galvanized stairs
- Remove and Replace Stair Tower
- Quantity Allowance

### **FUTURE REOPENING PHASE FOR LEVELS 4 AND 5**

Review of Levels 4 & 5 are not part of this scope. Levels 4 & 5 contain the largest footprint, most parking (48,000 SF and 152 spaces combined), and most deterioration of all levels; therefore, the level of effort and economic commitment to reopen these levels will be considerably more than what is needed to reopen Levels 1, 2, & 3. We recommend the following three options for Levels 4 & 5: 1) maintain in place and perform repairs to maintain its structural capacity to support its dead load, 2) develop a plan to remove and replace all of the concrete floor slabs in kind to return each level to its original condition, and 3) demolish both levels (other than the level directly above the occupied space, which would require spot repairs) and allow Level 3 to be the top level. These options are not reviewed further in this document and can be discussed after Levels 1, 2, and 3 are reopened.

### **FUTURE PREVENTATIVE MAINTENANCE ON REPAIRED LEVELS**

Maintenance performed on a regular basis will take full advantage of the repairs and waterproofing work. Without maintenance, the facility will not see the expected service life from the structure or the repairs and waterproofing. Typical maintenance includes routine sealing of joints along with periodic concrete repairs. For a structure of this age, construction, and geographical locations, Walker recommends budgeting ~\$200K - \$500K over the next 20-years for routine repair and maintenance (these costs are not included in our cost opinion) of the repaired levels.

Funds for maintenance of the garage should be accrued yearly considering the life expectancies of certain elements such as sealants, floor sealers and membranes, concrete repairs, etc. The life expectancies expressed vary depending on workmanship, quality of materials, use and exposure to elements. After all the work is complete, the supported levels should be washed down at least twice a year.

### **BENEFITS OF TIMELY REMEDIATION**

Long-term delay of repairs significantly increases cost. The cost to repair and maintain this facility will continue to increase at progressively faster rates when deterioration continues. The main benefits from implementing the recommended repairs and waterproofing are:

- Arrest the infiltration of water and chlorides (from deicing salts)
- Maintain the structural capacity and maintain the service life for the structure.
- Cost savings due to avoidance of structural repairs that are more expensive and facility shutdown.
- Higher levels of service to the users of the facility due to fewer days of downtime because of more extensive structural repairs.
- Provides for a greater degree of safety by inhibiting deterioration mechanisms before they have a chance to cause serious harm.
- Long term delay of repairs significantly increases future costs.
- Less noise and disruption both within the garages and the buildings above.
- Reopen a shuttered facility.

### **PRELIMINARY OPINION OF PROBABLE REPAIR COSTS**

See Appendix C for the opinion of probable repair costs.

Note: due to the unusual dynamic swaying of the cost of materials and cascading material/labor shortages caused by current market conditions, this cost opinion may vary over both the short term and long term.

## IMPLEMENTATION


We recommend the repair program outlined above be implemented immediately. If either Option 1 or 2 are selected, the team of Pullman and Walker can implement a design-build repair strategy to reopen the structure at the earliest possible date. Delay of repairs significantly increases cost. The cost to repair and maintain this facility will continue to increase progressively faster.

The repair and maintenance project recommended for 2022 will be very disruptive to the structure, nearby businesses, the patrons, and the owners. On-going coordination between the owner, design-build team, and the City will be paramount throughout planning and construction. We recommend this plan be shared with the City of Altoona to ensure all parties have input.

The duration for Repair Option 1 is approximately 4-6 months. The schedule for Repair Option 2 is approximately 4-8 months.

## *SITE SPECIFIC IMPACTS*

The costs provided are based on the normal construction constraints which include but are not limited to: reasonable ability to make noise for at least 1 shift per day, work during the normal work week of Monday through Friday, security constraints no greater than working in a typical publicly accessible environment, areas of construction of at least 1 Level, no hazardous waste, and access to public water, sewer, and debris disposal.



# 03 Discussion and Observations

## DISCUSSION AND OBSERVATIONS

The following includes Walker's observations from our condition appraisal on July 19<sup>th</sup>, 2022. Refer to Appendix A for representative photos.

On April 6, 2022, prior to the involvement of Walker and Pullman, the City of Altoona Department of Codes and Inspections walked through the structure and observed widespread concrete degradation. The next day, April 7, 2022, the City of Altoona deemed the structure an 'unsafe building, structure or equipment' in accordance with PA Uniform Construction Code and ordered the structure to be 'vacated' (please see Appendix B for City of Altoona letter). Walker and Pullman were subsequently approached by the client to perform an assessment of the garage to develop a reopening methodology.

### STRUCTURAL

Walker performed a limited acoustic impact (hammer tap) survey on the structural framing members (pan-joints, girders, spandrel beams, encased columns, and walls). Widescale and typical pan-joint deterioration and delaminations were found in the field cast concrete slab on all levels during our visual survey. Areas where previous soffit repairs were performed were also found to be delaminated and failing. The extensive slab and joist deterioration observed on all levels is likely due to high levels of chlorides causing embedded reinforcing bar corrosion. The pan-joints are in poor to very poor condition. Each structurally supported level will require complete slab removal and replacement to return each level to its original condition and be reopened. Please see the Conclusions and Recommendations Section for further review of repair options and timelines.

The cast-in-place concrete girders and spandrel beam are in good condition. The girders show some signs of spalling and delamination which will require minor repair. Similarly, the structural steel columns are in good condition. Only isolated columns show minor surface rust. Walker recommends all of the steel columns be cleaned and painted to ensure another 20+ year service lifetime. Also, Walker recommends carrying a structural steel allowance in case unforeseen structural steel members require strengthening. Moreover, Walker recommends exposing the steel column-concrete spandrel beam connection to confirm member framing.

The majority of the structure is cast-in-place concrete pan-joint construction while Level 4 above the occupied space appears to be constructed using precast concrete hollow core plank. The walls and ceiling in the interior of the structure are finished; therefore, we were unable to determine the exact construction or extent of deterioration. Determining the construction and condition of the building was outside the scope of this report.

Each repair option outlined in the Conclusions and Recommendations section indicates spot concrete structural repairs are required on the levels which will remain shuttered. Any level which does not undergo immediate repair will continue to degrade, become a safety concern, and potentially fail. Therefore, repairs are required to ensure each level can sustain its own dead load. These repairs will be required on a regular basis, likely every 6-months. Furthermore, extensive knocking down of loose concrete of the level above the highest opened level is required prior to reopening and on an approximate bi-annually basis. In order to ensure no traffic enters the shuttered levels, we recommend a vehicle barrier be placed at the bottom of the Level 3 ramp. No repairs to the ramps are currently recommended.



A wood construction canopy is observed on the top level and covers the ramp. The canopy construction appears to be relatively new. Walker did not analyze the structure but this structure would require review once the top level (Level 5) repairs are implemented.

All structural repairs outlined in this report require shoring down at least two levels. Therefore, please note, any future repairs to the levels which are not repaired during this work may require closing one or more of the repaired levels to continue concrete repairs.

We recommend the perimeter barriers of each level to be upgraded for vehicle barrier loading (10,000 pounds of force at 18 and 27 inches above the driving surface).

Some loose and broken brick is observed on the southern end of the structure along with spalled spandrel beam concrete. Ensure the brick and spalled concrete is removed immediately.

Isolated repairs to the concrete slab-on-ground (SOG) is required on Level 1 & 2.

### **WATERPROOFING**

Waterproofing measures were only observed on the roof level, which has failed in multiple locations. No waterproofing measures were observed on the covered supported levels. As part of our repair plan, Walker recommends a new waterproof vehicular traffic topping membrane be applied to each newly repaired level along with flexible joint and cove sealant as required.

A plaza system may exist about the occupied space. This would require test pits to confirm which were outside the scope of this work.

### **MECHANICAL/ELECTRICAL/PLUMBING**

Most of the existing drains are in poor condition with corroding drainpipes and are recommended to be removed and replaced in kind. All drains shall be flushed and cleaned on a regular basis to ensure adequate drainage.

Supplemental drains and supplemental pipes are recommended to be installed to help alleviate water ponding. Ponding allows water to penetrate micro-cracks throughout the concrete slab which can then accelerate deterioration during freeze-thaw cycles. Additionally, these ponds become a serious safety issue at freezing temperatures as they become ice patches.

The lighting system and conduits will need to be removed and replaced with new LED system to facilitate full depth concrete repairs.

### **MISCELLANEOUS**

Considering the vast and widespread deterioration, soffit nets currently exist under Level 4 (over Level 3). This system does not appear to be easily removable to knocked down loose concrete on a regular basis. Walker recommends this netting be removed and a new removable netting be erected under Level 3 for Repair Option 1 and under Level 4 for Repair Option 2. This will allow the netting to be removed on a regular basis (~every 6-months) to knock down loose concrete.

All curbs and pavement markings should be repainted as they wear and in accordance with the phasing. Each level shall be washed down prior to reopening.

#### **STAIR TOWERS**

Stair treads/riser and stringers have failed and require replacement. Walker recommends removing and replacing with a new galvanized stair system. Additionally, the CMU enclosure has failed and requires removal and replacement.



05 Limitations  
Section

## LIMITATIONS

This report contains the professional opinions of Walker Consultants based on the conditions observed as of the date of our site visit and documents made available to us by the Client. This report is believed to be accurate within the limitations of the stated methods for obtaining information. The cost opinion, provided separately, is associated with this report and covered 100% by the limitation stated herein.

We have provided our opinion of probable costs from visual observations and field survey work. The opinion of probable repair costs is based on available information at the time of our assessment and from our experience with similar projects. There is no warranty to the accuracy of such cost opinions as compared to bids or actual costs. This condition appraisal and the recommendations therein are to be used by Client with additional fiscal and technical judgment.

It should be noted that our renovation recommendations are conceptual in nature and do not represent changes to the original design intent of the structure. As a result, this report does not provide specific repair details or methods, construction contract documents, material specifications, or details to develop the construction cost from a contractor.

Based on the agreed scope of services, the assessment was based on certain assumptions made on the existing conditions. Some of these assumptions cannot be verified without expanding the scope of services or performing more invasive procedures on the structure. More detailed and invasive testing may be provided by Walker Consultants as an additional service upon written request from Client.

The recommended repair concepts outlined represents current generally accepted technology. This report does not provide any kind of guarantee or warranty on our findings and recommendations. Our assessment was based on and limited to the agreed scope of work. We do not intend to suggest or imply that our observation has discovered or disclosed latent conditions or has considered all possible improvement or repair concepts.

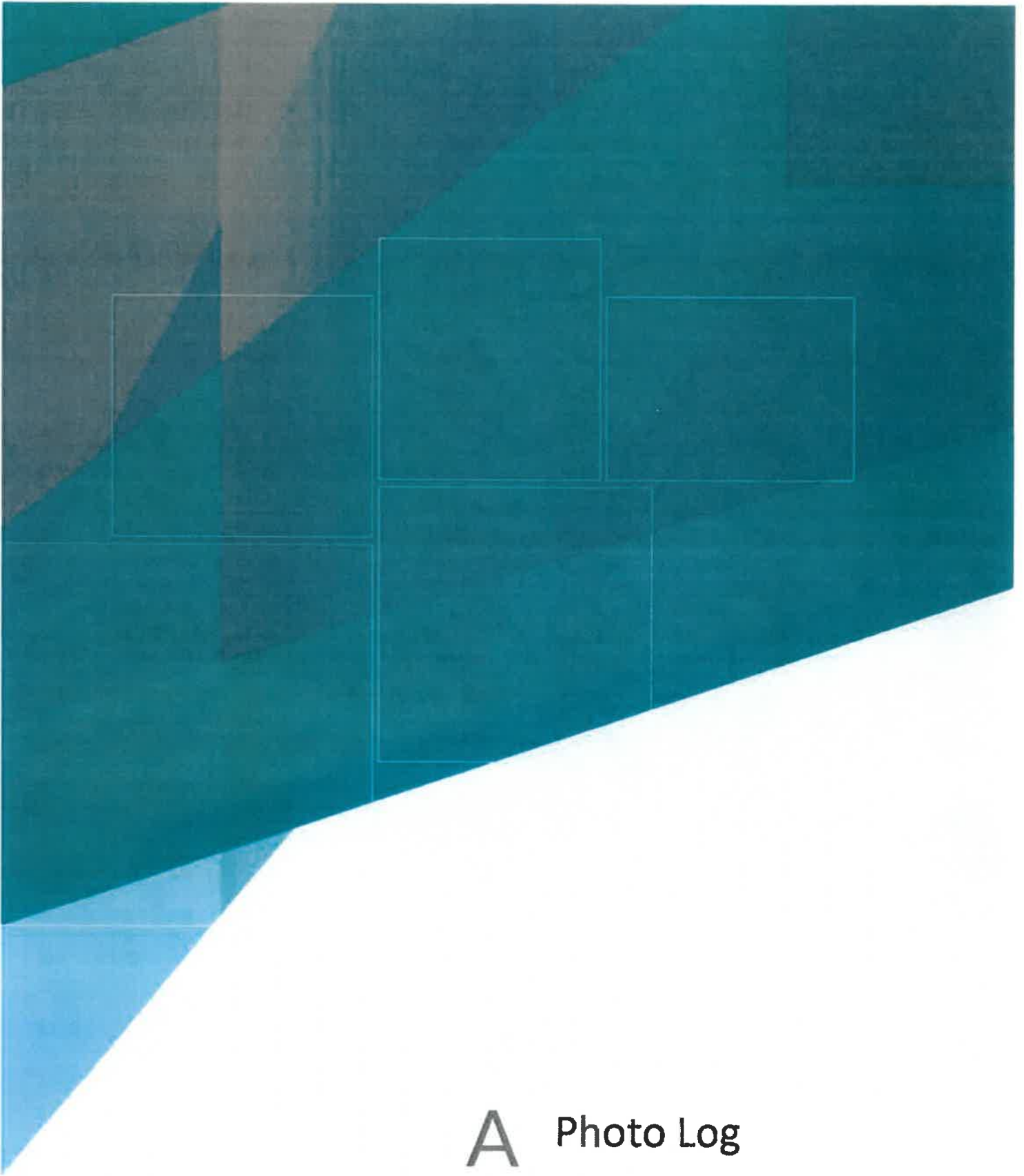
A review of the facility for Building Code compliance and compliance with the Americans with Disabilities Act (ADA) requirements was not part of the scope of this project. However, it should be noted that whenever significant repair, rehabilitation or restoration is undertaken in an existing structure, ADA design requirements may become applicable if there are currently unmet ADA requirements.

Similarly, we have not reviewed or evaluated the presence of, or the subsequent mitigation of, hazardous materials including, but not limited to, asbestos and PCB.

This report was created for the use of Client and may not be assigned without written consent from Walker Consultants. There are no intended or unintended third part beneficiaries to this report except as expressly state herein. Use of this report by others is at their own risk. Failure to make repairs recommended in this report in a timely manner using appropriate measures for safety of workers and persons using the facility could increase the risks to users of the facility. Client assumes all liability for personal injury and property damage caused by current conditions in the facility or by construction, means, methods and safety measures implemented during facility repairs. Client shall indemnify or hold Walker Consultants harmless from liability and expense including reasonable attorney's fees, incurred by Walker Consultants as a result of Client's failure to implement repairs or to conduct repairs in a safe and prudent manner.



## Appendices



A Photo Log

## APPENDIX A – PHOTO LOG

Photo 1 – 12<sup>th</sup> Ave View



Photo 2 – 12<sup>th</sup> Ave View



Photo 3 – 13<sup>th</sup> St and Alley View



Photo 4 – Typical façade Deterioration



Photo 5 – Girder deterioration



Photo 6 – Pan-Joist Deterioration



Photo 7 – Pan-Joist Deterioration



Photo 8 – Pan-Joist Deterioration





Photo 9 – Pan-Joist Deterioration



Photo 10 - Pan-Joist Deterioration



Photo 11 – Pan-Joist Deterioration



crete.

Photo 12 – Top level traffic topping



Photo 13 – Top Level failed traffic topping



Photo 14 – Top level canopy



Photo 15 – Top level canopy



Photo 16 – Typical column and drain



Photo 17 – Typical Lighting



Photo 18 – Typical door to adjacent occupied space



Photo 19 – Loose Failing Concrete



Photo 20 – Interior Ramp



Photo 21 – Netting under Level 4



Photo 22 – Level 3 door to occupied space



Photo 23 – Failed stair and tower

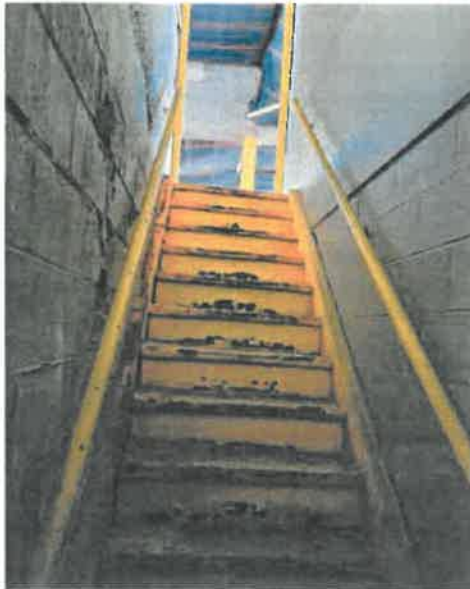


Photo 24 – Failed stair and tower



Photo 25 – Interior finished space



Photo 26 – Interior finished space

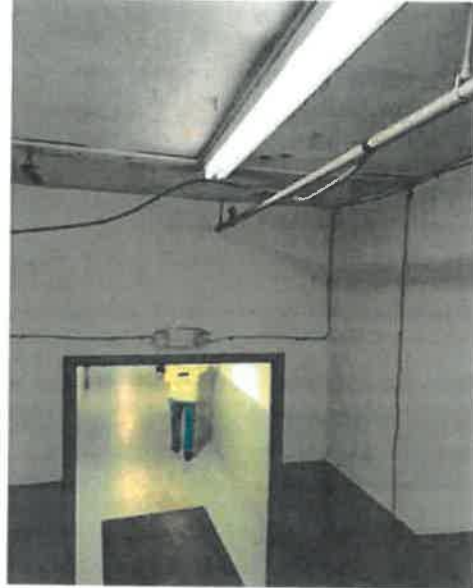


Photo 27 – Typical spalled floor slab



Photo 28 – Typical spalled floor slab



Photo 29 – Typical SOG



Photo 30 – Perimeter restraint require vehicle upgrade



Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>

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## Requests

1 message

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Rebecca Brown <[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)>  
To: Omar Strohm <[ostrohm@altoonapa.gov](mailto:ostrohm@altoonapa.gov)>

Fri, Nov 4, 2022 at 8:31 AM

Good morning, Omar,

Please find below information requested by Councilman Beatty regarding the Gable's Parking Garage. Attached is the structural report, and I have also included my conversation with the Engineer for the project.

Thank you,  
Rebecca

*I received a phone call from Eric Shudy, engineer with Pullman. He wanted to let us know about the ownership group change, and that a lady from California now seems to be the contact person. Also, they are being represented locally by Amy Hite, a realtor from Hollidaysburg. Pullman's engineers were on site again re-assessing the top 2 decks, and stated the top 2 are in extremely bad shape. They are providing the ownership group with 2 options: one will include removing the top 2 decks altogether and renovating the bottom and street-level decks only, which will allow for 94 spots to remain; this option will amount to around 3 million. Another option will be to renovate the entire structure, which would amount to 10-12 million. Finance-wise, he's figuring it would take 50 years to recoup their investment if they chose to renovate the entire garage and he's unsure what their position is financially. He is having another meeting with them in a week or so and will present these options, but he indicated he will also need to get a sense of their budget to move forward. He'll contact me after he meets with them.*

**Rebecca M. Brown, Director**

City of Altoona



Department of Codes and Inspections  
1301 12th Street, Suite 103  
Altoona PA 16601  
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Fax (814) 949-2203  
[rbrown@altoonapa.gov](mailto:rbrown@altoonapa.gov)  
[www.altoonapa.gov](http://www.altoonapa.gov)



**Gable's Parking Garage Report.pdf**

1561K



Linda Rickens &lt;lrickens@altoonapa.gov&gt;

## Fwd: Requests

2 messages

Omar Strohm &lt;ostrohm@altoonapa.gov&gt;

Tue, Nov 8, 2022 at 8:55 AM

To: Bruce Kelley <bkelley@altoonapa.gov>, Dave Ellis <dellis@altoonapa.gov>, David Butterbaugh <dbutterbaugh@altoonapa.gov>, Jesse Ickes <jickes@altoonapa.gov>, Joe Carper <jcarper@altoonapa.gov>, Matt Pacifico <mpacifico@altoonapa.gov>, Ron Beatty <rbeatty@altoonapa.gov>  
 Cc: Tom Finn <tfinn@wagfinn.com>, Linda Rickens <lrickens@altoonapa.gov>

Mayor and Councilmembers,

Please see the email below from the City's Director of Codes and Inspections, which relates to the status of the Gables Parking Garage. For context, the current ownership of the Gables Building (which includes the garage) is in a state of flux with one member of the ownership group (located in central California) supposedly in the process of acquiring the property from the other members of the group. Steve McKnight and I met with this person and his entourage at the ABCD headquarters last month, but I have received no confirmation of a change in ownership since this meeting. If and when I receive confirmation, I will let you know.

Contact me with any questions.

Thanks,

- Omar

----- Forwarded message -----

From: **Rebecca Brown** <rbrown@altoonapa.gov>  
 Date: Fri, Nov 4, 2022 at 8:31 AM  
 Subject: Requests  
 To: Omar Strohm <ostrohm@altoonapa.gov>

Good morning, Omar,

Please find below information requested by Councilman Beatty regarding the Gable's Parking Garage. Attached is the structural report, and I have also included my conversation with the Engineer for the project.

Thank you,  
 Rebecca

*I received a phone call from Eric Shudy, engineer with Pullman. He wanted to let us know about the ownership group change, and that a lady from California now seems to be the contact person. Also, they are being represented locally by Amy Hite, a realtor from Hollidaysburg. Pullman's engineers were on site again re-assessing the top 2 decks, and stated the top 2 are in extremely bad shape. They are providing the ownership group with 2 options: one will include removing the top 2 decks altogether and renovating the bottom and street-level decks only, which will allow for 94 spots to remain; this option will amount to around 3 million. Another option will be to renovate the entire structure, which would amount to 10-12 million. Finance-wise, he's figuring it would take 50 years to recoup their investment if they chose to renovate the entire garage and he's unsure what their position is financially. He is having another meeting with them in a week or so and will present these options, but he indicated he will also need to get a sense of their budget to move forward. He'll contact me after he meets with them.*

**Rebecca M. Brown, Director**

City of Altoona



Department of Codes and Inspections

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1561K

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**Matt Pacifico** <mpacifico@altoonapa.gov>  
To: Linda Rickens <lricken@altoonapa.gov>

Thu, Jun 29, 2023 at 2:11 PM

**Matt Pacifico**  
**Mayor, City of Altoona**

Office of the Mayor  
1301 Twelfth Street, Suite 101  
Altoona, PA 16601  
814.949.2476  
www.altoonapa.gov



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Rebecca Brown &lt;rbrown@altoonapa.gov&gt;

**(no subject)**

3 messages

**Drake Chose** <drake.chose@gmail.com>  
To: inspections@altoonapa.gov

Fri, Dec 16, 2022 at 9:15 AM

Good Morning,

Hello, I am a local contractor and I am currently in contact with the owner or property manager of the gable building between 11th and 12th avenue. I have read the letter sent by the city, but I am looking for some clarity on what exactly the city is looking for. I understand there may be some structural concerns and I am also looking to understand the city definition of concrete restoration as it is worded on the builders report.

Thank you, Drake Chose  
Chose Construction Inc.

**Rebecca Brown** <rbrown@altoonapa.gov>  
To: Drake Chose <drake.chose@gmail.com>  
Cc: Scott Brown <sbrown@altoonapa.gov>

Mon, Dec 19, 2022 at 9:02 AM

Good morning Mr. Chose,

Are you in possession of the structural report that was prepared by Pullman? If so, there are several options that were contained in the report referencing repairs that were needed to the structure. The City does not prepare or design a repair report; we ordered the property be evaluated by a structural engineer to determine what exactly was needed to repair the structure. I would make contact with Pullman for additional info and to obtain the options they were presenting for repairs.

Thank you,  
Rebecca Brown

**Rebecca M. Brown, Director**

City of Altoona



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Fax (814) 949-2203  
rbrown@altoonapa.gov  
www.altoonapa.gov

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**Drake Chose** <drake.chose@gmail.com>  
To: Rebecca Brown <rbrown@altoonapa.gov>

Mon, Dec 19, 2022 at 9:27 AM

Thank you for your email.

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[Quoted text hidden]

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7/26/23, 9:18 AM

City of Altoona, PA Mail - (no subject)

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